



THE CORPORATION OF THE CITY OF ST. THOMAS

COMMUNITY IMPROVEMENT PROGRAM EVALUATION COMMITTEE

July 27, 2021

3:30 P.M.

ZOOM MEETING

1. Disclosure of Interest
2. Confirmation of Minutes: June 22, 2021
3. Project Applications
 - a) 625 Talbot Street
 - b) 145 Ross Street
4. Adjournment

THE CORPORATION OF THE CITY OF ST. THOMAS
CIP EVALUATION COMMITTEE

ZOOM

JUNE 22, 2021

The meeting convened at 2:00 p.m. with Joan Rymal, designate Chair, presiding.

ATTENDANCE

Members

Councillor Jim Herbert
Councillor Joan Rymal
Russell Schnurr, DDB
Susan Boldt, DDB
Steven McLarty, MHC

Officials

Crystal Penney, Planning & Building Services Coordinator

Regrets

Harrison Cole, MHC
Wendell Graves, City Manager

DISCLOSURES OF INTEREST

Nil.

MINUTES

Moved by Russell Schnurr – Councillor Herbert:

THAT: The minutes of the meeting held on May 6, 2021 be confirmed. Carried.

PROJECT APPLICATIONS

488 Talbot Street- Harrison Cole

Ms. Penney advised the committee that the owner is applying under the Heritage Design Grant Program and the Heritage Façade and Improvement Program. She added that this property is located within the Heritage Conservation District and an HCD application has gone before the Heritage Committee. The owner is applying for both front and side façade improvements and is applying for grant and loan funding.

Ms. Penney advised that the application is for brick repairs and window alterations on the second floor, the repointing and replacement of brick, rebuilding a pilaster and restoring the decorative brick work, removing the existing chimney and the current second floor window is to be removed and original three openings are to be restored with segmental arch windows.

Mr. Schnurr noted that the Heritage Alteration Permit focused on the upper floor but that the owner does have plans to come back to the committee when ready for the design of the main floor.

Committee members agreed that this type of project does fit the requirements of the Community Improvement Program and there were no concerns.

Moved by Councillor Herbert – Russell Schnurr:

THAT: The Community Improvement Program application for 488 Talbot Street be approved.

Carried.

ADJOURNMENT

Moved by Russell Schnurr – Susan Boldt:

THAT: The meeting be adjourned at 2:30 pm

Carried.

CONFIRMED _____ CHAIR

**FINANCIAL INCENTIVES PROGRAM
ST. THOMAS COMMUNITY IMPROVEMENT PLAN
APPLICATION FORM**

OFFICE USE:	Date Application Received: <u>JUL 20 2021</u>	File Number: <u>2021-115</u>
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INSTRUCTIONS

- If the space provided is insufficient to respond to the question, please provide additional information on a separate page, clearly marked as to the subject question, and attached to the application form.
- Please attach financial quotes, drawings or other required information as appropriate.
- We recommend that the applicant keep a copy of the application form for your own records.
- To ensure that the application is readable, please fill out online or print in ink.
- Please ensure that the application has been signed by the property owner or authorized agent and commissioned.

OWNER/APPLICANT

1. Property Owner
 Name: 10008281 CANADA INC (SIGNING OFFICER: HINA SHEIKH)
 Address: PH05-2545 ERIN CENTRE BLVD, MISSISSAUGA, ONTARIO
 Postal Code: L5M 5H6 Phone: 647-991-8410 Fax: _____
 Email: hinafatima29@gmail.com

2. Agent/Applicant
 Name: ADAM WAYLAND
 Company: WTF PROPERTY GROUP INC.
 Address: 231 MICHAELMAS STREET, LONDON, ONTARIO
 Postal Code: N5Y 1N2 Phone: 905-931-0884 Fax: _____
 Email: wtfpropertygroup@gmail.com

Who is the primary contact?
 Registered Owner Applicant/Agent

*Note: Unless otherwise requested all communications will be sent to the Applicant.

*Please indicate the method of communication you would like to be contacted by.
 Phone Email Fax Mail

SUBJECT PROPERTY

1. Municipal Address:
625 TALBOT STREET, ST. THOMAS, ONTARIO, N5P 1C6

2. Legal Description:

3. Brief Description of Current Use:
THIS BUILDING IS CURRENTLY A MIXED USE RETAIL/COMMERCIAL (RESTUARANT) MAIN FLOOR AND
RESIDENTIAL APARTMENTS ON THE 2ND AND 3RD FLOORS.

4. Are property taxes for the subject property in arrears? Yes No

5. Are there any outstanding orders registered against the subject property? Yes No

6. Are there any outstanding violations under the Fire Code? Yes No

7. Have grants previously been received from the City for the subject property? Yes No

If yes, please describe, including total amounts of grants:

PROGRAM CHECKLIST

Please place a check next to the program(s) that you are applying for:

- Heritage Design Grant Program
- Heritage Façade and Building Improvement Program
- Residential Program
- Development Charge Grant Program
- Tax Increment Grant Program
- Parkland Dedication Grant Program
- Planning and Building Fees Grant Program
- Heritage Tax Relief Grant Program
- Environmental Site Assessment Grant Program

Please fill out the following sections with regards to the program(s) you are applying for. If additional space is required, please attach the information on a separate sheet.

DESCRIPTION OF PROPOSED RESIDENTIAL IMPROVEMENT PROJECT (IF APPLYING FOR RESIDENTIAL)

The new owners of the above noted property have undertaken renovations to the 3rd floor of this building, removing an order to prohibit occupancy due to tenants misuse and hoarding. This work was completed and inspected and new tenants have now occupied the 3rd floor adding 2 new quality housing units to this amazing area.

The fire systems were also upgraded as part of the 3rd floor renovation which includes common areas on both the 3rd and 2nd floors.

The remaining residential units (1 bachelor and one 1 bedroom unit) will be improved and brought up to code and modernized, along with the common areas for the entire residential portion of the building to remedy lighting and flooring issues that have been temporarily repaired.

201-625 Talbot Street was recently vacated by an individual who has secured geared-to-income housing with the municipality. The previous owners of this building lacked on maintenance and upkeep and therefore this unit needs extensive renovations to be improved and modernized while also paying homage to this beautiful building.

202-625 Talbot Street is currently occupied by a long-term excellent tenant who has agreed to relocate to 201-625 Talbot street after its completion so that we may improve and modernize his space for his continued tenancy and to get this building completely finished on the interior.

A separate application will be submitted for exterior door/window as well as brick repair and repointing for the front and rear facades of this property. My understanding of this program is that a separate application be filed due to this building's heritage standing with the city of St. Thomas. We have found some period 2" thick security doors which we removed from an old government building in London that would fit this building and time period perfectly.

Renovations for the above 2 residential units and common areas are totalled at approximately \$33,644.56 plus HST with a 15% contingency. A summary quote has been provided as provided to the owners. This price may fluctuate based on supply of and cost of materials and found issues with this building.

The above renovations include all new kitchens, bathrooms, tubs, sinks, faucets, flooring, drywall, paint, plumbing or electrical repairs where needed, interior fire doors, trim and tile.

Our company (WTF Property Group) is excited to have the opportunity to both manage and repair/restore this piece of St. Thomas history, this has been a great project with great new owners who are enthusiastic and forward thinking on what this building will be when completed. On the property management side, adding quality, safe, downtown residential units to this area makes us proud to be adding to the city's core.

GENERAL APPLICATION QUESTIONS

- 1. Is your property a designated heritage building? Yes No
- 2. Is your property listed by the local Municipal Heritage Committee as a building of historic or architectural value? Yes No
- 3. Is your property located with the Downtown St. Thomas Heritage Conservation District? Yes No
- 4. What is the current status of the building? Vacant
 Occupied
 Underutilized

If other, please explain: One unit remains in disrepair and currently deemed uninhabitable due to lack of maintenance of previous owners and abuse from most recent tenants.

- 5. Are you converting and/or rehabilitating this space? Yes No
 - If yes: a) are you creating new residential units? Yes No
 - b) are you rehabilitating vacant residential units? Yes No
 - c) are you bringing occupied residential units up to code? Yes No

- 6. Are you intensifying and/or redeveloping this space? Yes No
 - If yes: a) are you creating new residential units through the addition of new building space? Yes No
 - b) are you demolishing existing building(s) to create a new building with new residential units? Yes No

How many residential units are being added?

- 7. Are you adding commercial space? Yes No

If yes, please provide the square footage

- 8. Please specify the financial incentives you are interested in if applying for the following programs:

a) Residential Program

- Grant Loan Both

b) Façade Improvement Program

- Grant Loan Both

9. If you are applying for the Façade Improvement Program, please specify what part of the building you are making improvements on? (Note: side and rear façade improvements are eligible only if the public view of the building is significant)

Front Façade

Side Façade

Rear Facade

10. Please specify what CIP area your property is located within.

DOWNTOWN

11. Estimated total construction cost for the residential project:

38018.35

12. Estimated total construction cost for the façade improvement:

13. Estimated total design and other profession costs:

(Note: You will be given estimates for funding on grants and loans based on the above estimates. The final calculations of grants and loans will be based on the building permit value for construction costs and actual receipts for design and professional costs.)

14. Have you made an application for a Building Permit pertaining to the work being proposed?

Yes No

AUTHORIZATION OF OWNER

If the applicant is not the owner of the subject lands, please complete the owner authorization concerning personal information as set out below.

I, Hina Sheikh, am the owner of the subject lands, and I authorize Adam Wayland to act on our behalf as the agent for the submissions required for all matters relating to the subject lands, and to provide any of my personal information that will be included in this application or collected during the planning process.

July 14, 2021
Date

H. Fatima
Signature of Owner

AFFIDAVIT OR SWORN DECLARATION

I, Adam Wayland of London City in the province of Ontario,
name of applicant City

make oath and say (or solemnly declare) that the information provided by the applicant in this application is accurate, and that the information contained in the documents that accompany this application is accurate.

Sworn (or declared) before me at the London City on this 14 Day of July Month, 2021 Year.

H. Fatima
Signature of Owner or Authorized Agent

2021/07/14
Date

Dennis Charles McKelg
Signature of Commissioner of Oaths, etc.

2021/07/15
Date

Dennis Charles McKelg, Commissioner of Oaths, etc.
Province of Ontario - Licensed Paralegal
LSO# 17412



Edit estimate

[Save as Draft](#)[Details](#) > [Estimate](#) > [Preview & send](#)

Estimate #000665

Estimate

Estimate #000665

Customer

Hina Sheikh
 10008281 CANADA INC.
 hinafatima29@gmail.com
 +1 647-542-6007
 2545 Erin Centre Blvd
 PH 05
 Mississauga, ON L5M 5H6

Message

We look forward to working with you.

Demolition (\$5.00/sq ft) × 800.000	\$4,000.00
Drywall and insulation (\$3.00/sq ft) × 200.000	\$600.00
Flooring installation (\$2.00/sq ft) × 1,743.000	\$3,486.00
Flooring (\$2.49 ea.) × 1,800	\$4,482.00
Kitchen cabinet installation (\$75.00 ea.) × 21	\$1,575.00
Cabinetry (\$1,000.00 ea.) × 2	\$2,000.00
Counter tops (\$199.00 ea.) × 4	\$796.00
Counter tops installation (\$100.00 ea.) × 4	\$400.00



Edit estimate

[Save as Draft](#)[Details](#) > [Estimate](#) > [Preview & send](#)

Kitchen tile (\$1.99/sq ft) × 60.000	\$119.40
Kitchen tile installation (\$10.00/sq ft) × 60.000	\$600.00
Kitchen sink/installation (\$250.00 ea.) × 2	\$500.00
Fridge (\$400.00 ea.) × 2	\$800.00
Stove (\$300.00 ea.) × 2	\$600.00
Pot lights (\$10.00 ea.) × 17	\$170.00
Pot light installation (\$20.00 ea.) × 17	\$340.00
Painting labour/materials (\$3.00 ea.) × 1,600	\$4,800.00
bathroom tile (\$1.79/sq ft) × 180.000	\$322.20
bathroom tile installation (\$3.00/sq ft) × 180.000	\$540.00
Bathtub replacement (\$350.00 ea.) × 2	\$700.00
bathroom vanity (\$200.00 ea.) × 2	\$400.00
bathroom vanity install (\$50.00 ea.) × 2	\$100.00
Shower heads (\$74.98 ea.) × 2	\$149.96
Toilets (\$150.00 ea.) × 2	\$300.00
Toilet installation (\$75.00 ea.) × 2	\$150.00
New bedroom and bathroom doors (\$100.00 ea.) × 3	\$300.00



Edit estimate

[Save as Draft](#)[Details](#) > [Estimate](#) > [Preview & send](#)

Light fixtures-common area (\$50.00 ea.) × 6	\$300.00
Light fixtures-common area installation (\$100.00 ea.) × 6	\$600.00
Trim (\$69.00 ea.) × 6	\$414.00
Trim installation (\$3.00/li) × 1,100.000	\$3,300.00
Baseboard heater material and installation (\$200.00 ea.) × 4	\$800.00
Subtotal	\$33,644.56
HST	\$4,373.79
Total	\$38,018.35

WTF Property Group Inc.
adam.m.wayland@gmail.com
+1 833-983-7767
GST/HST: 705936318RT0001
PST/QST:

**FINANCIAL INCENTIVES PROGRAM
ST. THOMAS COMMUNITY IMPROVEMENT PLAN
APPLICATION FORM**

OFFICE USE: Date Application Received: <u>Jul 15 2021</u>	File Number: <u>2021-116</u>
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INSTRUCTIONS

- If the space provided is insufficient to respond to the question, please provide additional information on a separate page, clearly marked as to the subject question, and attached to the application form.
- Please attach financial quotes, drawings or other required information as appropriate.
- We recommend that the applicant keep a copy of the application form for your own records.
- To ensure that the application is readable, please fill out online or print in ink.
- Please ensure that the application has been signed by the property owner or authorized agent and commissioned.

OWNER/APPLICANT

1. Property Owner

Name: 519 Developments

Address: 969 Juliana Dr, Woodstock

Postal Code: N4V 1C1 Phone: _____ Fax: _____

Email: N.Coutts@gmail.com

2. Agent/Applicant

Name: Nathan Coutts

Company: 519 Developments

Address: 969 Juliana Dr, Woodstock

Postal Code: N4V 1C1 Phone: _____ Fax: _____

Email: N.Coutts

Who is the primary contact?

Registered Owner Applicant/Agent

*Note: Unless otherwise requested all communications will be sent to the Applicant.

*Please indicate the method of communication you would like to be contacted by.

Phone Email Fax Mail

SUBJECT PROPERTY

- 1. Municipal Address:
145 Ross St, St Thomas On, N5R 3X9

- 2. Legal Description:
PART OF LOT 21 PLAN 86 AS IN E392785; T/W E392785; ST. THOMAS ; 3421040 - 35000500

- 3. Brief Description of Current Use:
Minor Commercial Zone, C6-2. Currently used as 4 unit Residential Multifamily

- 4. Are property taxes for the subject property in arrears? Yes No
- 5. Are there any outstanding orders registered against the subject property? Yes No
- 6. Are there any outstanding violations under the Fire Code? Yes No
- 7. Have grants previously been received from the City for the subject property? Yes No

If yes, please describe, including total amounts of grants:

PROGRAM CHECKLIST

Please place a check next to the program(s) that you are applying for:

- Heritage Design Grant Program
- Heritage Façade and Building Improvement Program
- Residential Program
- Development Charge Grant Program
- Tax Increment Grant Program
- Parkland Dedication Grant Program
- Planning and Building Fees Grant Program
- Heritage Tax Relief Grant Program
- Environmental Site Assessment Grant Program

Please fill out the following sections with regards to the program(s) you are applying for. If additional space is required, please attach the information on a separate sheet.

DESCRIPTION OF PROPOSED RESIDENTIAL IMPROVEMENT PROJECT (IF APPLYING FOR RESIDENTIAL)

Converting the 4 unit building to 6 units.

Interior Demolition to make way for new Floor plan layout.

New construction to suite the new layout. Including upgraded electrical, plumbing and HVAC.

Adding amenities such as in Unit Laundry, on site storage, Zoned HVAC and upgraded finishes.

GENERAL APPLICATION QUESTIONS

1. Is your property a designated heritage building? Yes No
2. Is your property listed by the local Municipal Heritage Committee as a building of historic or architectural value? Yes No
3. Is your property located within the Downtown St. Thomas Heritage Conservation District? Yes No
4. What is the current status of the building? Vacant
 Occupied
 Underutilized

If other, please explain: Mostly Vacant with Tenant moving out so construction can begin

5. Are you converting and/or rehabilitating this space? Yes No
- If yes: a) are you creating new residential units? Yes No
b) are you rehabilitating vacant residential units? Yes No
c) are you bringing occupied residential units up to code? Yes No

6. Are you intensifying and/or redeveloping this space? Yes No
- If yes: a) are you creating new residential units through the addition of new building space? Yes No
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If yes, please provide the square footage

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a) Residential Program

Grant Loan Both

b) Façade Improvement Program

Grant Loan Both

9. If you are applying for the Façade Improvement Program, please specify what part of the building you are making improvements on? (Note: side and rear façade improvements are eligible only if the public view of the building is significant)

Front Façade

Side Façade

Rear Facade

10. Please specify what CIP area your property is located within.

Primary CIP

11. Estimated total construction cost for the residential project:

\$425,000

12. Estimated total construction cost for the façade improvement:

13. Estimated total design and other profession costs:

12,000

(Note: You will be given estimates for funding on grants and loans based on the above estimates. The final calculations of grants and loans will be based on the building permit value for construction costs and actual receipts for design and professional costs.)

14. Have you made an application for a Building Permit pertaining to the work being proposed?

Yes No

AUTHORIZATION OF OWNER

If the applicant is not the owner of the subject lands, please complete the owner authorization concerning personal information as set out below.

I, _____, am the owner of the subject lands, and I authorize _____, to act on our behalf as the agent for the submissions required for all matters relating to the subject lands, and to provide any of my personal information that will be included in this application or collected during the planning process.

Date Signature of Owner

AFFIDAVIT OR SWORN DECLARATION

I, NATHAN COULTS of LONDON in the province of ONTARIO,
name of applicant City

make oath and say (or solemnly declare) that the information provided by the applicant in this application is accurate, and that the information contained in the documents that accompany this application is accurate.

Sworn (or declared) before me at the ST THOMAS on this 15 day of JULY, 2021.
City Day Month Year

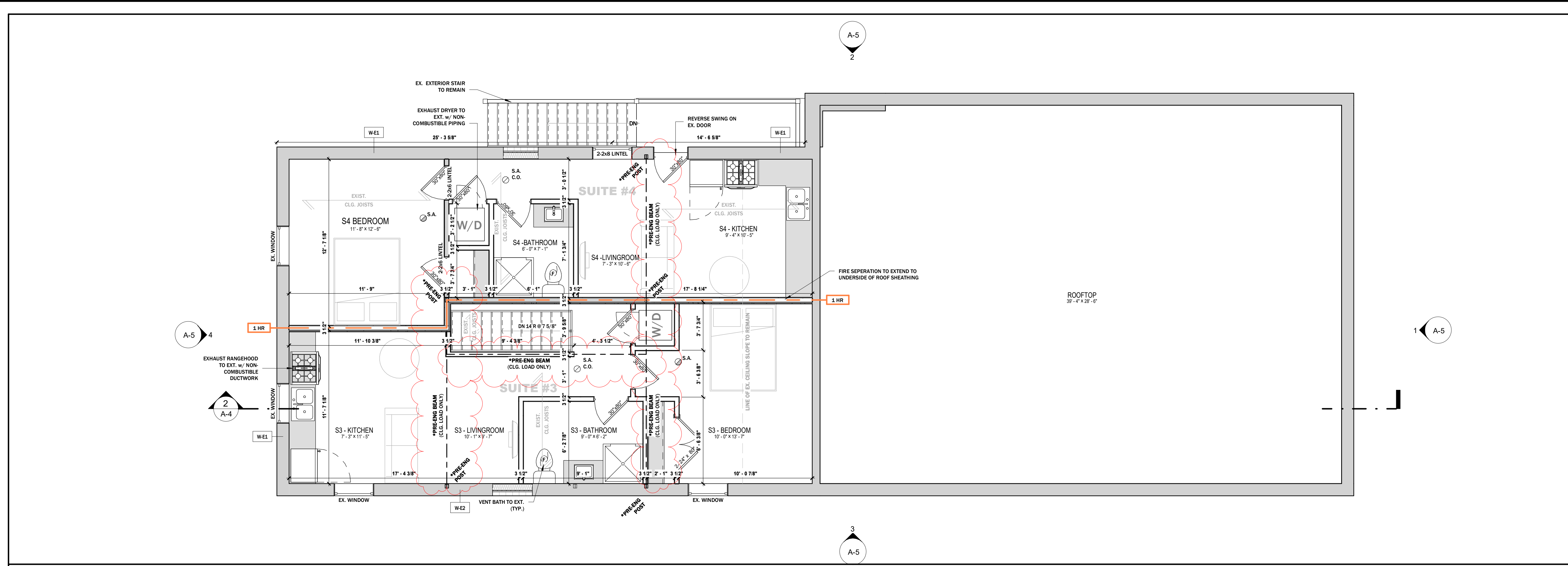
N Coult
Signature of Owner or Authorized Agent

JULY 15, 2021
Date

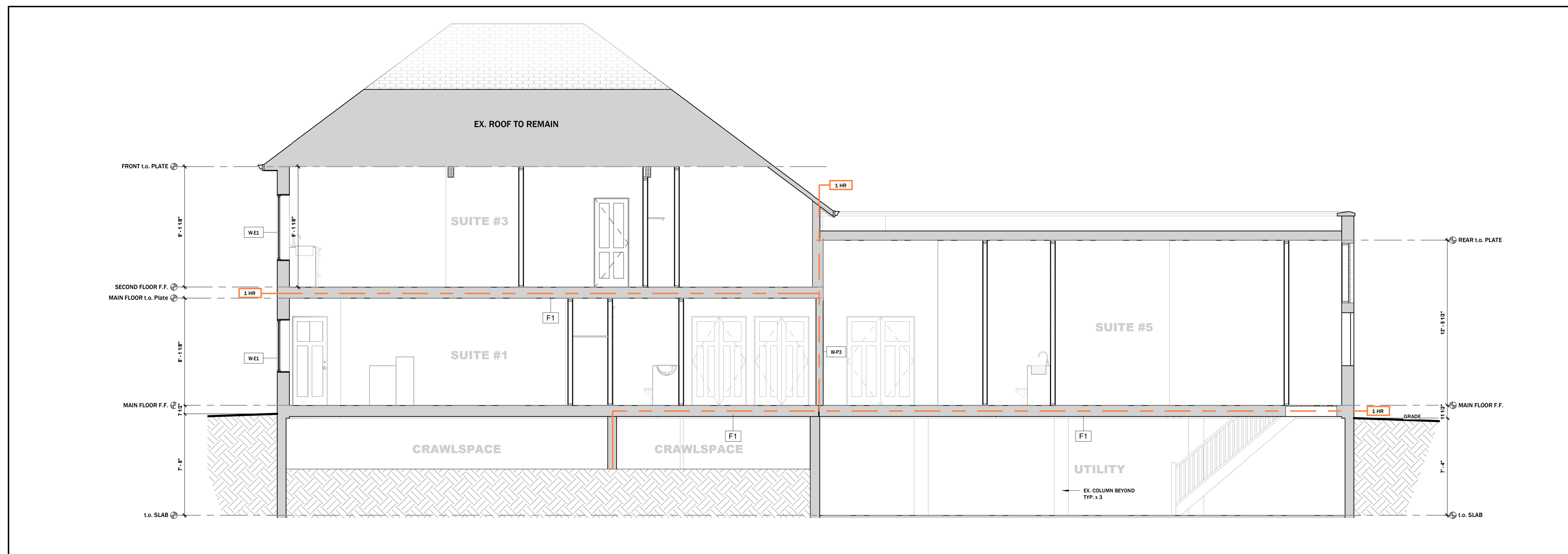
Crystal Marie Penney
Signature of Commissioner of Oaths, etc.

JULY 15, 2021
Date

Crystal Marie Penney, a Commissioner, etc.,
Province of Ontario, for the
Corporation of the City of St. Thomas.
Expires September 18, 2022.



PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"



PROPOSED BUILDING SECTION
1/4" = 1'-0"

GENERAL NOTES:

- DRAWINGS ARE NOT TO BE SCALED.
- ALL DIMENSIONS AND INSTALLATIONS ARE TO BE VERIFIED ON SITE.
- ALL DIMENSIONS INDICATED ON FLOOR PLANS ARE TO EXTERIOR FACE OF EXTERIOR WALLS, OR FACE OF STRUCTURE / FACE OF STUD OF INTERIOR PARTITIONS. SEE FLOOR PLANS FOR ADDITIONAL DIMENSION NOTES.
- CONTRACTOR TO COMPLY TO ONTARIO BUILDING CODE (OBC) 2012 IN ADDITION TO ANY AND ALL AUTHORITIES HAVING JURISDICTION DURING ALL PHASES OF WORK.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO BRING ALL OMISSIONS, DISCREPANCIES, INCLUDING DIMENSIONS, TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCING OF ANY WORK.
- PROVIDE 19mm PLYWOOD BACKING AT SURFACE MOUNTED ELECTRICAL PANEL LOCATIONS. ENSURE CONTINUITY OF VAPOUR BARRIER AND INSULATION AS REQD.
- SEAL ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL OR ELECTRICAL PENETRATIONS IN WALL AND/OR FLOOR ASSEMBLIES WITH AN APPROVED PRODUCT / SYSTEM TO MAINTAIN REQUIRED FIRE RATING AND ACOUSTICAL MINIMUMS.
- THESE ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH SURVEY, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
- ANY CEILING HEIGHTS SHOWN ON THE FLOOR PLANS ARE FROM L.o. SHEATHING TO L.o. WOOD PLATE OR UNDERSIDE OF TRUSS.
- "* INDICATES STRUCTURAL ELEMENT DESIGNED TO PART 4 OF THE O.B.C. BY A PROFESSIONAL ENGINEER.
- ** INDICATES PRE-ENGINEERED ELEMENT SUPPLIED BY MANUFACTURER.
- ALL WOOD FRAMING TO MEET SECTION 9.23 OF THE O.B.C.
- TRUSSES TO BE 2'-0" O.C. MAX (DESIGN BY OTHERS)
- ATTIC ACCESS HATCH TO BE 3'-0" BY 1'-10" LOCATION TO BE ADJUSTED IN COORDINATION WITH TRUSS LAYOUT

-PRELIMINARY-
-NOT FOR CONSTRUCTION-

NO.	DESCRIPTION	DATE
00	ISSUED FOR REVIEW	2020-09-27
01	ISSUED FOR COORDINATION	2020-11-17

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN.

QUALIFICATION INFORMATION:

NAME	SIGNATURE
BCIN #	FIRM BCIN #

PROJECT:
**R00 145 Ross St. -
Reno**
145 Ross St., St. Thomas, Ont., N5R 3X9

VS DESIGN STUDIO
519-535-3781 | info@vsds.ca | www.vsds.ca

DRAWING TITLE:
PROPOSED SECOND FLOOR PLAN & SECTION

PROJECT NUMBER:	2053
DRAWN:	R. YULL
CHECKED:	L. VERMEER
SCALE:	1/4" = 1'-0"
DATE:	2020-11-19 1:55:23 PM

DRAWING NO:
A-4

GENERAL CONSTRUCTION NOTES

WOOD FRAMING NOTES

1. ALL LUMBER AND WOOD PRODUCTS SHALL BE NUMBER 1 OR NUMBER 2 GRADE SPF UNLESS OTHER WISE NOTED AND MUST CONFORM TO OBC 9.3.2.
2. ALL WOOD FRAMED CONSTRUCTION SHALL CONFORM TO OBC 9.23.
3. ALL PRE-ENGINEERED SYSTEMS ARE TO BE DESIGNED AND SEALED BY AN ONTARIO P.ENG.
4. ALL COLUMNS SUPPORTING STRUCTURAL MEMBERS TO BE MIN. EQUAL IN WIDTH TO THE MEMBER WHICH IT IS SUPPORTING.
5. ALL LOAD BEARING COMPONENTS MUST HAVE CONTINUOUS SUPPORT EXTENDING TO THE FOUNDATION FOOTING.
6. ALL GUARDS AND SUPPORTING STRUCTURE SHALL CONFORM TO OBC 9.8.8 & SB-7.

STRUCTURAL STEEL NOTES

1. ALL STEEL COLUMNS SHALL CONFORM TO OBC 9.17.
2. ALL STEEL BEAMS SHALL CONFORM TO OBC 9.23.4.3.
3. ALL BEAMS TO HAVE MIN. 89mm (3.5") END BEARING AND STEEL MASONRY LINTELS SHALL HAVE MIN. 150mm (6") END BEARING.

FOOTING, FOUNDATIONS AND CONCRETE NOTES

1. FOOTINGS AND FOUNDATIONS SHALL CONFORM TO 9.15
2. KEEP TOPSIDE OF FOOTING MIN. 4'-0" BELOW FINISH GRADE CONTINUOUSLY.
3. SUSPENDED CONCRETE SLABS OVER COLD STORAGE (WHERE APPLICABLE): 5" THICK REINFORCED WITH 15M REBAR AT 8" EACH WAY WITH A BOTTOM COVER OF 1.25". CONCRETE SHALL BE MIN. 25 MPA WITH 6% AIR ENTRAINMENT. SLOPE AWAY FROM BUILDING MIN. 1%. PROVIDE MIN. 3" BEARING ON THE CONCRETE FOUNDATION WALLS.
4. UNLESS DETERMINED OTHERWISE VS DESIGN STUDIO ASSUMES SOIL BEARING CAPACITY OF 2000 PSF.

DOORS & WINDOWS

1. ALL WINDOWS, SKYLIGHTS, AND DOORS TO CONFORM TO OBC 9.7
2. FLOOR LEVELS CONTAINING BEDROOMS TO HAVE ONE OPERABLE WINDOW WITH A MIN. UNOBSTRUCTED WIDTH OPEN AREA OF 3.8 SQ. FT. WITH NO DIMENSION LESS THAN 15".
3. ANY FUTURE SLEEPING QUARTERS IN THE BASEMENT ARE TO HAVE WINDOWS IN THE ROOM THAT MEET THE REQUIREMENTS OF OBC 9.9.10.

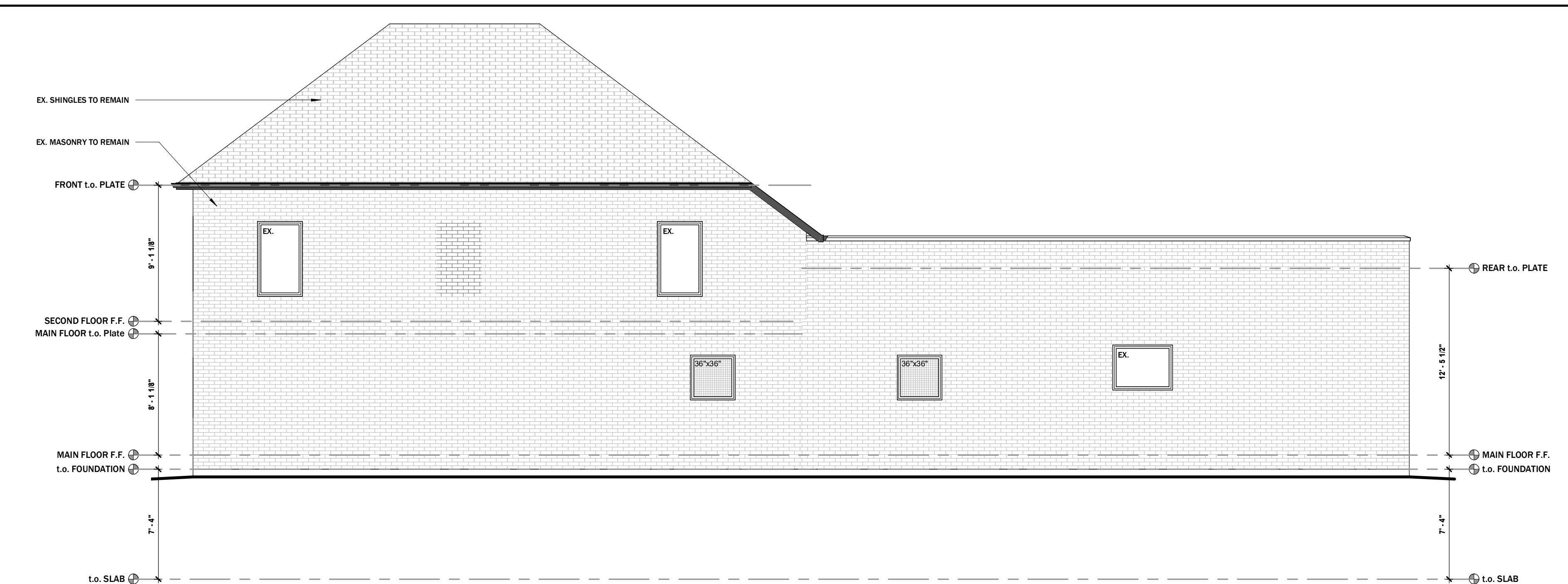
MISCELLANEOUS NOTES

1. SMOKE & CARBON MONOXIDE ALARMS TO BE LOCATED ON EACH LEVEL & TO BE HARDWIRED & INTERCONNECTED. LOCATE CARBON MONOXIDE ALARMS ADJACENT TO SLEEPING AREAS.
2. SMOKE ALARMS TO BE INSTALLED IN EACH SLEEPING AREA ON OR NEAR THE CEILING.
3. MIN. HEAD ROOM: 6'-11" MIN. HEAD ROOM BELOW DUCTS & BEAMS IN A DWELLING: 6'-5".
4. SUBFLOOR SUPPORTING CERAMIC FLOORS PER OBC 9.30.6.1.
5. PROVIDE ATTIC VENTILATION PER OBC 9.19.
6. PROVIDE AIR AND VAPOUR BARRIER IN ACCORDANCE TO OBC 9.25.3. & 9.25.4.
7. ATTIC HATCHES TO HAVE INSULATED COVERS AND INSULATING.
8. VS DESIGN STUDIO DOES NOT TAKE RESPONSIBILITY FOR ERRORS OR OMISSIONS FOUND IN THIRD PARTY INFORMATION.

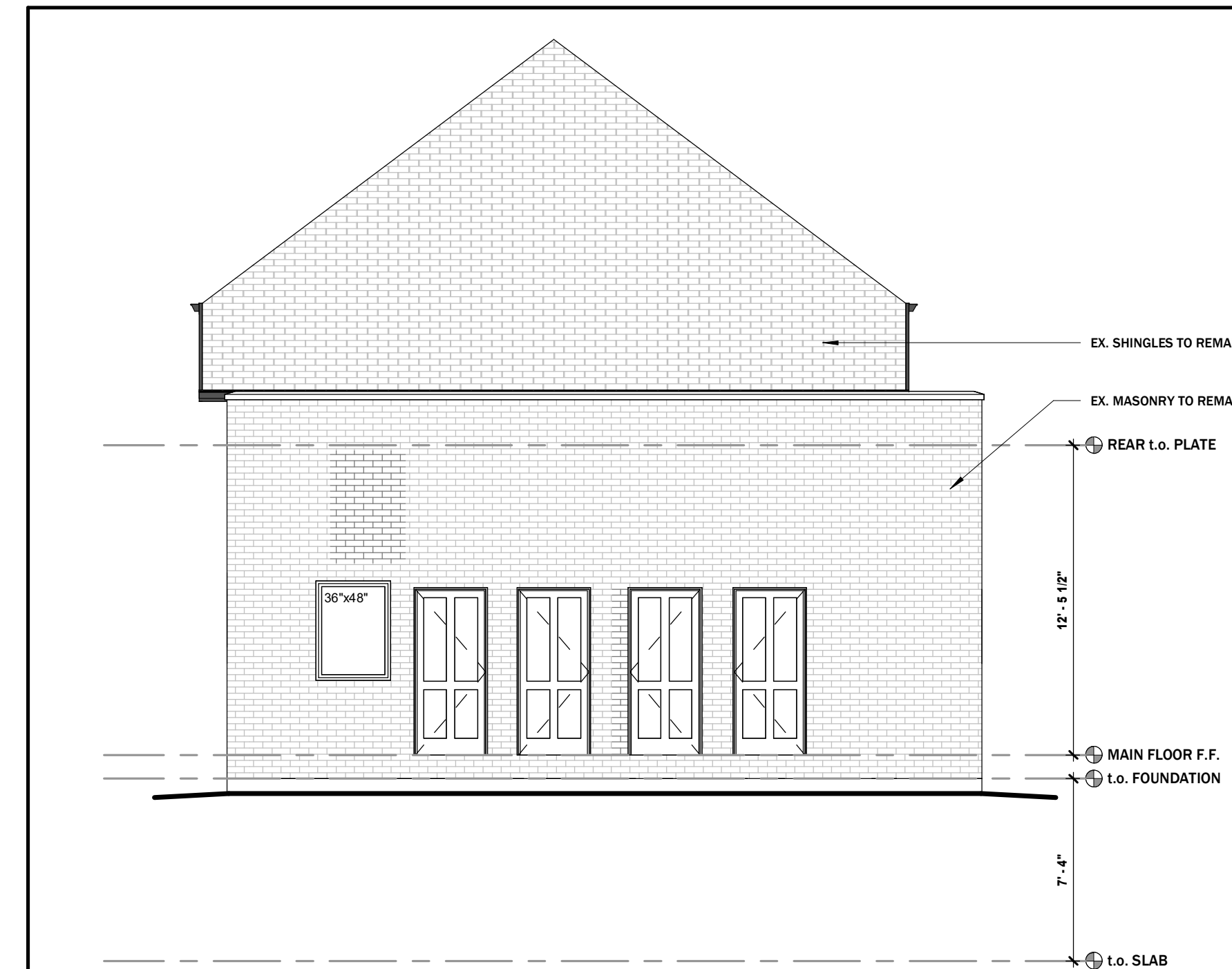
GENERAL NOTES:

1. DRAWINGS ARE NOT TO BE SCALED.
2. ALL DIMENSIONS AND INSTALLATIONS ARE TO BE VERIFIED ON SITE.
3. ALL DIMENSIONS INDICATED ON FLOOR PLANS ARE TO EXTERIOR FACE FOR EXTERIOR WALLS, OR FACE OF STRUCTURE / FACE OF STUD OF INTERIOR PARTITIONS. SEE FLOOR PLANS FOR ADDITIONAL DIMENSION NOTES.
4. CONTRACTOR TO COMPLY TO ONTARIO BUILDING CODE (OBC) 2012 IN ADDITION TO ANY AND ALL AUTHORITIES HAVING JURISDICTION DURING ALL PHASES OF WORK.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BRING ALL OMISSIONS, DISCREPANCIES, INCLUDING DIMENSIONS, TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCING OF ANY WORK.
6. PROVIDE 19mm PLYWOOD BACKING AT SURFACE MOUNTED ELECTRICAL PANEL LOCATIONS. ENSURE CONTINUITY OF VAPOUR BARRIER AND INSULATION AS REQ'D.
7. SEAL ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL OR ELECTRICAL PENETRATIONS IN WALL AND/OR FLOOR ASSEMBLIES WITH AN APPROVED PRODUCT / SYSTEM TO MAINTAIN REQUIRED FIRE RATING AND ACOUSTICAL MINIMUMS.
8. THESE ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH SURVEY, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
9. ANY CEILING HEIGHTS SHOWN ON THE FLOOR PLANS ARE FROM L.O. SHEATHING TO L.O. WOOD PLATE OR UNDERSIDE OF TRUSS.
10. * INDICATES STRUCTURAL ELEMENT DESIGNED TO PART 4 OF THE O.B.C. BY A PROFESSIONAL ENGINEER.
11. ** INDICATES PRE-ENGINEERED ELEMENT SUPPLIED BY MANUFACTURER.
12. ALL WOOD FRAMING TO MEET SECTION 9.23 OF THE O.B.C.
13. TRUSSES TO BE 2'-0" O/C MAX (DESIGN BY OTHERS)
14. ATTIC ACCESS HATCH TO BE 3'-0" BY 1'-10" LOCATION TO BE ADJUSTED IN COORDINATION WITH TRUSS LAYOUT

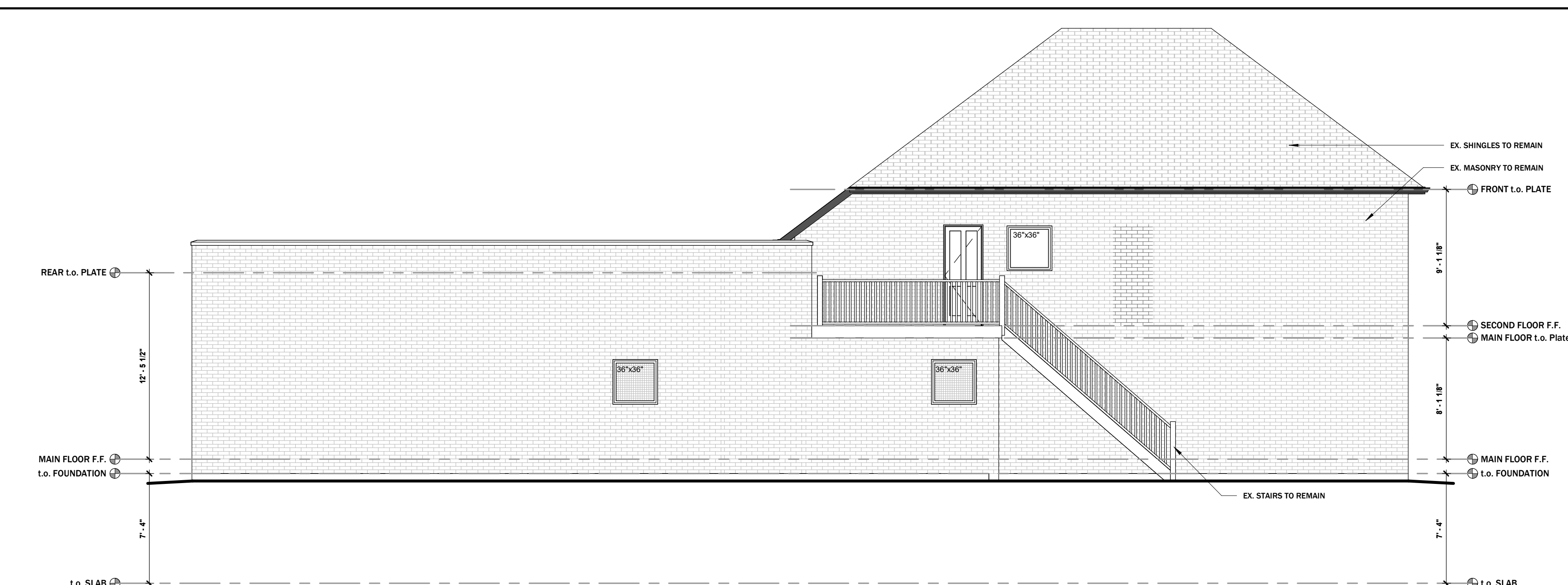
-PRELIMINARY-
-NOT FOR CONSTRUCTION-



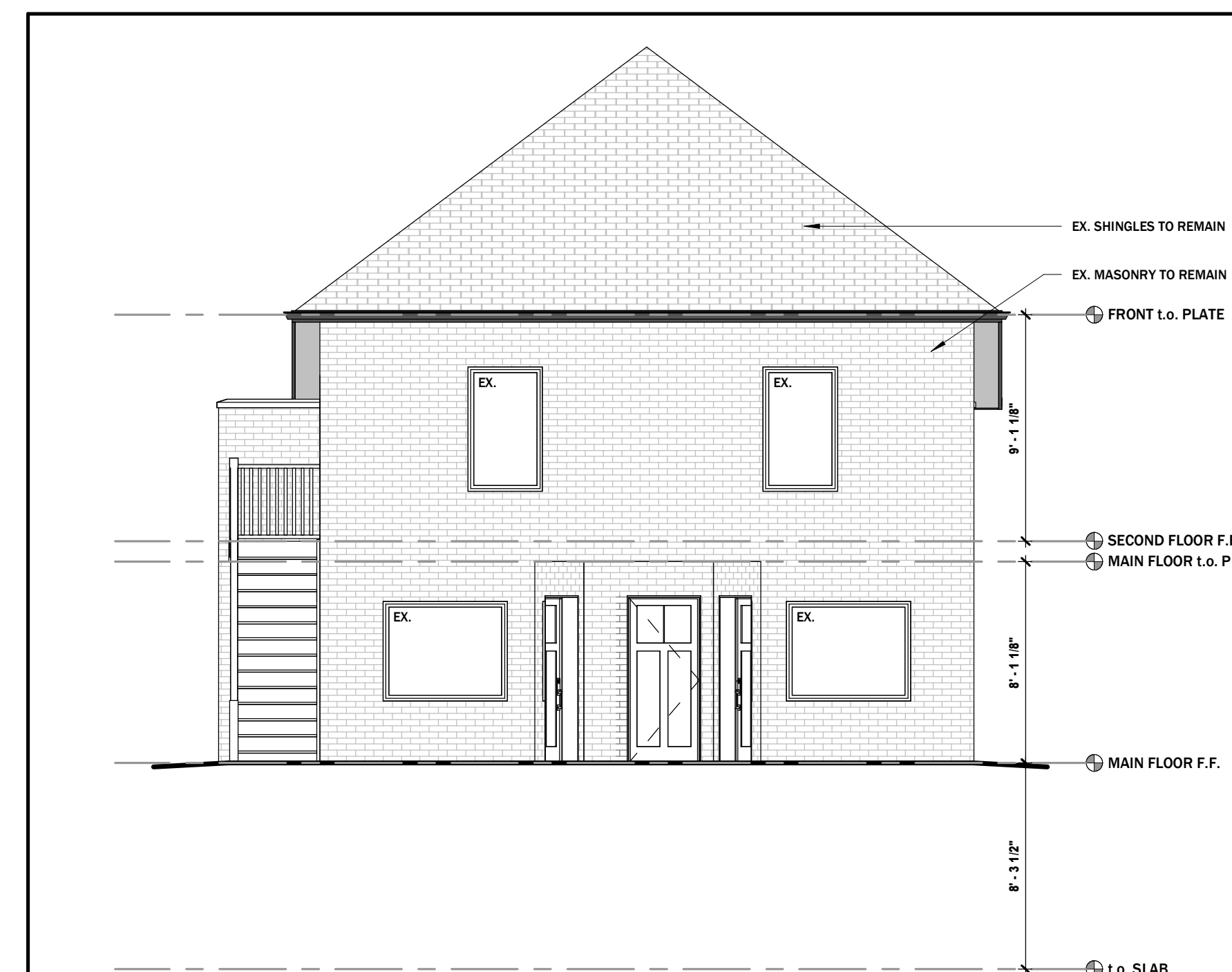
SOUTH ELEVATION
3/16" = 1'-0"



EAST ELEVATION
3/16" = 1'-0"



NORTH ELEVATION
3/16" = 1'-0"



WEST ELEVATION
3/16" = 1'-0"

NO.	DESCRIPTION	DATE
00	ISSUED FOR REVIEW	2020-09-27
01	ISSUED FOR COORDINATION	2020-11-17

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN.

QUALIFICATION INFORMATION:

NAME	SIGNATURE
BCIN #	FIRM BCIN #

PROJECT:
R00 145 Ross St. - Reno
 145 Ross St., St. Thomas, Ont., N5R 3X9



DRAWING TITLE:
PROPOSED ELEVATIONS

PROJECT NUMBER: 2053
 DRAWN: R. YULL
 CHECKED: L. VERMEER
 SCALE: As indicated
 DATE: 2020-11-19 1:55:24 PM

DRAWING NO:
A-5

145 Ross St Cost Tracker



Task	Vendor / Subcontractor	Subcontract	Materials	Actual Cost	Budget Amount	Difference
Project Name	Ross Street					
Project Type	Conversion					
Address	145 Ross St, St Thomas					
Size	8 Units					
Total Estimated Budget	\$454,168.12			\$0.00		\$0.00
Actual Committed Cost to Date	\$357,341.20			\$0.00		\$0.00
Current Budget Tracking	\$309,341.20					
Over/Under Estimated Budget	\$44,826.92					

TASK	VENDOR / SUBCONTRACTOR	Subcontract	Material	Actual Cost	Estimated Budget	Difference
Overall Budget		\$357,341.20	\$0.00	\$357,341.20	CA\$112,168.12	\$245,173.08
General Requirements				\$13,252.00	\$28,202.00	\$14,950.00
Placeholder				\$0.00		
Electrical Engineer		\$0.00		\$0.00		\$0.00
Acoustical Engineer		\$0.00		\$0.00		\$0.00
Structural Engineer		\$0.00		\$0.00		\$0.00
Architectural/ Design	VS Design Studios	\$8,050.00		\$8,050.00	\$7,000.00	\$950.00
Mechanical Engineer	LinMar HVAC + Plumbing Design	\$900.00		\$900.00	CA\$900.00	\$0.00
Permit Fees	City Of St Thomas	\$18,302.00		\$18,302.00	CA\$18,302.00	\$0.00
Utilities					CA\$10,000.00	
Subcontract				\$344,089.20	\$405,968.12	\$61,878.92
Placeholder				\$0.00		
Demolition	Derrig Quality Construction	\$12,000.00		\$12,000.00	CA\$12,000.00	\$0.00
Drywall and Acoustics	Sharp Drywall	\$92,800.00		\$92,800.00	CA\$92,800.00	\$0.00
Electrical	RoesZehr Electric	\$55,437.00		\$55,437.00	CA\$55,437.00	\$0.00
HVAC	Oxford Plumbing	\$55,000.00		\$55,000.00	CA\$55,000.00	\$0.00
Plumbing	Freeman Mechanical	\$55,799.12		\$55,799.12	CA\$55,829.12	\$30.00
Windows/ Doors	Distinct Exteriors Inc	\$21,054.52		\$21,054.52	CA\$22,000.00	\$945.48
Paint	CertaPro Painters	\$24,255.45		\$24,255.45	CA\$25,000.00	\$744.55
Kitchens	Rauma Cabinets	\$29,875.00		\$29,875.00	CA\$30,000.00	\$125.00
Flooring (Install)	Flatout Flooring	\$35,405.11		\$35,405.11	CA\$40,000.00	\$4,594.89
Roofing	BML Roofing Systems Inc.	\$17,900.00		\$17,900.00	CA\$17,900.00	\$0.00
Materials				\$0.00		\$61,878.92
Placeholder				\$0.00		\$61,878.92
Lighting Supply			\$0.00	\$0.00	CA\$5,000.00	\$5,000.00
Interior Doors			\$0.00	\$0.00	CA\$6,000.00	\$6,000.00

Quote
Order # [145 Ross St]



Reference:	Nathan Coutts
Tag:	145 Ross St
Modified:	14/07/2021
Valid:	02/12/2020
No:	473



Distinct Windows & Doors
 29 Segal Drive
 Millsonburg
 Ontario ON
 N4G 4P4
 Telephone: 519-403-4953
 Telephone 2:
 Cell phone:
 Fax:
 nrad@distinctwindowsanddoors.ca

Ontario ON
 Telephone:
 Telephone 2:
 Cell phone:
 Fax:

Qty	Model	Description
-----	-------	-------------

1



Exterior Door Black L
Frame : 35 1/2" x 82 1/4"
Exterior moulding : 35 1/2" x 82 1/4"

#1 - First Impression steel door, Steel door pre-hung in wood frame, Door
 35 1/2" x 82 1/4"

1 - Door (Left hinges inswing)
 T01 Victoria Shaker (34" X 79")
 T13 LOWE

Door exterior colour [(Standard) Black]
 Door interior colour [Polytex]
 Capping return
 Drill for deadbolt 2 1/8"
 Black hinges
 Black weatherstrip
 6 5/8" x 1 1/4" jamb (8" sill Std)
 Installation Included

Paint capping returns black please

This does not include handlesets.

Total (Selling) : (1 x \$ 1 600.00 *) = \$ 1 600.00

2



Exterior Door White R
Frame : 35 1/2" x 82 1/4"
Exterior moulding : 35 1/2" x 82 1/4"

#1 - First Impression steel door, Steel door pre-hung in wood frame, Door
 35 1/2" x 82 1/4"

1 - Door (Right hinges inswing)
 T01 Victoria Shaker (34" X 79")
 T13 LOWE

Qty	Model	Description
-----	-------	-------------

Door exterior colour [Polytex]
 Door interior colour [Polytex]
 Capping return
 Drill for deadbolt 2 1/8"
 Satin nickel hinges
 White weatherstrip
 6 5/8" x 1 1/4" jamb (8" sill Std)
 Installation Included

Total (Selling) : (2 x \$ 1 400.00 *) = \$ 2 800.00

2



Exterior Door Black R
Frame : 35 1/2" x 82 1/4"
 Exterior moulding : 35 1/2" x 82 1/4"

#1 - First Impression steel door, Steel door pre-hung in wood frame, Door
 35 1/2" x 82 1/4"

1 - Door (Right hinges inswing)
 T01 Victoria Shaker (34" X 79")
 T13 LOWE

Door exterior colour [(Standard) Black]
 Door interior colour [Polytex]
 Capping return
 Drill for deadbolt 2 1/8"
 Black hinges
 Black weatherstrip
 6 5/8" x 1 1/4" jamb (8" sill Std)
 Installation Included

Paint capping returns black please

Total (Selling) : (2 x \$ 1 600.00 *) = \$ 3 200.00

2



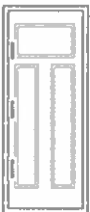
Exterior Door White L
Frame : 35 1/2" x 82 1/4"
 Exterior moulding : 35 1/2" x 82 1/4"

#1 - First Impression steel door, Steel door pre-hung in wood frame, Door
 35 1/2" x 82 1/4"

1 - Door (Left hinges inswing)
 T01 Victoria Shaker (34" X 79")
 T13 LOWE

Door exterior colour [Polytex]
 Door interior colour [Polytex]
 Capping return
 Drill for deadbolt 2 1/8"
 Satin nickel hinges
 White weatherstrip
 6 5/8" x 1 1/4" jamb (8" sill Std)
 Installation Included

Total (Selling) : (2 x \$ 1 400.00 *) = \$ 2 800.00

Qty	Model	Description
1		<p>Exterior Door White 30" Frame : 33 1/2" x 82 1/4" Exterior moulding : 33 1/2" x 82 1/4"</p> <hr/> <p>#1 - First Impression steel door, Steel door pre-hung in wood frame, Door 33 1/2" x 82 1/4" 1 - Door (Left hinges inswing) T01 Victoria Shaker (32" X 79") T13 LOWE Door exterior colour [Polytex] Door interior colour [Polytex] Capping return Drill for deadbolt 2 1/8" Satin nickel hinges White weatherstrip 6 5/8" x 1 1/4" jamb (8" sill Std) Installation Included</p>
		Total (Selling) : (1 x \$ 1 400.00 *) = \$ 1 400.00
Note:		
		Total (modified) \$ 11 800.00
		HST (13%) \$ 1 534.00
		Total (Selling) \$ 13 334.00

OXFORD PLUMBING

Your
Plumbing & Water Treatment
Professionals

1244 Parkinson Road, Woodstock, Ontario N4S 7W3
Phone: 519-421-3017 Fax: 519-421-4089

DATE: June 16, 2021

SUBMITTED TO: 519 Developments LTD.
JOB ADDRESS: 145 ROSS ST., ST THOMAS
JOB NAME: ROSS ST RENO HVAC REVISED
TELEPHONE: 519-532-5961
E-MAIL: n.coutts@gmail.com

We propose to furnish material and labour - complete in accordance with above

Specifications, for the sum of **FIFTY FIVE THOUSAND DOLLARS**

(\$ 55,000.00 + APPLICABLE TAX)

Payment to be **\$ DRAW** after rough - in stage, balance on completion of job.

Authorized Signature _____

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alterations or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owners to carry fire, windstorm and other necessary insurance.

Note: This Proposal may be withdrawn by us if not accepted in 90 days.

Acceptance of Proposal

The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Signature: _____

Signature: _____

Date of Acceptance: _____

SIX PLEX CONVERSION - HVAC QUOTE Q000121973

JOB ADDRESS - 145 Ross St, ST. THOMAS

SUPPLY AND INSTALL THE FOLLOWING PER DRAWINGS:

6 - MXZ-2C20NAHZ2-U1 Mitsubishi MrSlim R410-A HYPER HEAT Outdoor Unit Hyper Heat, 2 Port, Heat Pump, 20MBH, 208/1/60 c/w EcoFoot Mini Frame, Important: Heat pump and low ambient condensing units must be installed above snow level.

12 - MSZ-FH06NA Mitsubishi Indoor Unit Wall Mounted, 6MBH, 208/1/60, c/w wireless controller, wall holder

6 - Nutone 696N0 - Economy Fan - 50 CFM c/w vent

6 - Nutone NU230WW - Economy under cabinet range hood - 160 CFM - 30 inches wide - white finish c/w vent - SUPPLY AND VENT ONLY

11 - Airvent - 4" Wall Cap - Satin Coat Mill Finish, Solid Elastomer Damper w/ field install screen kit (Bird & Fly)

5 - Airvent - Econo Single Wall Box - 6" Collar

5 - Airvent - Stamped SWB Grille - Mill Finish

2 - Roof Jacks - Supply only

PRICE INCLUDES:

DEMOLITION - DISCONNECT AND REMOVE ALL EXISTING HVAC INCLUDING GRILLES, DUCTWORK AND AIR HANDLING EQUIPMENT DEMOLITION REPAIR BY OTHERS

INSTALL CONDENSING UNITS ON SNOW CLEARANCE EQUIPMENT FRAMES PER MANUFACTURER RECOMMENDATIONS ON FLAT ROOF ROUTE AND SUPPORT LINESETS AND CONTROL WIRING ROUTE CONDENSATE DRAIN TUBING TO NEAREST SUPPLIED SANITARY DRAINS - PLUMBING CONNECTION BY OTHERS CONNECT, PRESSURE TEST, EVACUATE AND CHARGE HEAT PUMP SYSTEMS

INSTALL 4" DRYER VENT TO EXTERIOR HOODS - FINAL CONNECTION TO DRYER BY OTHERS

INSTALL EXHAUST FANS AND VENT TO EXTERIOR WALL OR ROOF HOODS

INSTALL RANGE HOOD VENT AND CONNECT TO WALL OR ROOF HOODS

INSULATE EXHAUST DUCTWORK

ALL LABOUR AND MATERIALS INCLUDED

INCLUDES STARTUP AND COMMISSIONING

CRANE INCLUDED FOR ROOFTOP EQUIPMENT INSTALLATION AND ROOFTOP UNIT REMOVAL

NOTE:

- ANYTHING NOT LISTED ABOVE NOT INCLUDED -

ADDITIONAL PARTS MAY BE REQUIRED DUE TO UNKNOWN ISSUES AT ADDITIONAL COST

**FAN STARTERS AND EXHAUST FAN CONTROL BY OTHERS
HIGH VOLTAGE ELECTRICAL BY OTHERS
ROOF JACK AND ROOF CONE INSTALLATION BY OTHERS
ATTIC ACCESS REQUIRED FOR CONNECTION TO ROOF JACKS**

NOT INCLUDED IN QUOTE

**PERMITS AND ASSOCIATED FEES
ENGINEERING AND STRUCTURAL
ROOFING AND SIDING
CUTTING AND CORING OF HOLES
FIRESTOPPING
ELECTRICAL, FAN STARTERS AND HIGH VOLTAGE CONTROLS
FRAMING, DRYWALL AND PAINTING
CONCRETE
CONDENSATE DRAINS
DUCT CLEANING
TRENCHING, BACKFILLING AND GRADING**

Quote
Order # [145 Ross St]



Reference:	Nathan Coutts
Tag:	145 Ross St
Modified:	14/07/2021
Valid:	02/12/2020
No:	473



Distinct Windows & Doors

29 Segal Drive

Millsonburg

Ontario ON

N4G 4P4

Telephone: 519-403-4953

Telephone 2:

Cell phone:

Fax:

Email: nrad@distinctwindowsanddoors.ca



Ontario ON


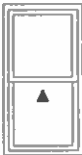
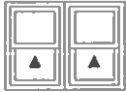
Telephone:


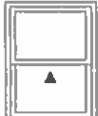
Telephone 2:

Cell phone:

Fax:

Qty	Model	Description
3		<p>North 36x36 Frame : 36" x 36" Exterior moulding : 36" x 36" Overall Depth (Jamb + Frame): 3 1/4"</p> <hr/> <p>#1 - Vinyl Window, Regency, Single slider, Regular 36" x 36" Sashes split evenly Operators : Left single slider (2)</p> <p>Default exterior colour : White Default interior colour : White Energy Plus (Standard) Extruded screen</p> <p style="text-align: right;">Total (Selling) : (3 x \$ 441.52 *) = \$ 1 324.56</p>
2		<p>West 39x42 Frame : 39" x 42" Exterior moulding : 39" x 42" Overall Depth (Jamb + Frame): 3 1/4"</p> <hr/> <p>#1 - Vinyl Window, Regency, Single hung, 1 lite 39" x 42" Sashes split evenly Operators : Single hung</p> <p>Standard exterior colour : Black [(Standard) Black] Default interior colour : White Energy Plus (Standard) Extruded screen</p> <p style="text-align: right;">Total (Selling) : (2 x \$ 814.48 *) = \$ 1 628.96</p>

Qty	Model	Description
2		<p>West 59x47 Frame : 59" x 47" Exterior moulding : 59" x 47" Overall Depth (Jamb + Frame): 3 1/4"</p> <hr/> <p>#2 - Vinyl Window, Regency, Fixed casement, 1 lite 59" x 29" Position (x,y) : (0, 18) Operators : Fixed casement</p> <p>Standard exterior colour : Black [(Standard) Black] Default interior colour : White Energy Plus (Standard) Assembled</p>
		<hr/> <p>#1 - Vinyl Window, Regency, Single slider, Endvent 59" x 18" Sashes split 1/4-1/2-1/4 Position (x,y) : (0, 0) Operators : Left single slider (3)</p> <p>Standard exterior colour : Black [(Standard) Black] Default interior colour : White Energy Plus (Standard) Extruded screen Assembled</p>
		<p>Total (Selling) : (2 x \$ 1 445.43 *) = \$ 2 890.86</p>
2		<p>South 31x60 Frame : 31" x 60" Exterior moulding : 31" x 60" Overall Depth (Jamb + Frame): 3 1/4"</p> <hr/> <p>#1 - Vinyl Window, Regency, Single hung, 1 lite 31" x 60" Sashes split evenly Operators : Single hung</p> <p>Default exterior colour : White Default interior colour : White Energy Plus (Standard) Extruded screen</p>
		<p>Total (Selling) : (2 x \$ 628.20 *) = \$ 1 256.40</p>
1		<p>South 47x35 Frame : 47" x 35" Exterior moulding : 47" x 35" Overall Depth (Jamb + Frame): 3 1/4"</p> <hr/> <p>#1 - Vinyl Window, Regency, Single hung, 2 lites 47" x 35" Lite 1 (23 1/2" x 35") Sashes split evenly Lite 2 (23 1/2" x 35") Sashes split evenly</p> <p>Operators : Single hung - Single hung</p> <p>Default exterior colour : White Default interior colour : White</p>

Qty	Model	Description						
		Energy Plus (Standard) Extruded screen Assembled <div style="text-align: right;">Total (Selling) : (1 x \$ 768.16 *) = \$ 768.16</div>						
2		South 36x36 Frame : 36" x 36" Exterior moulding : 36" x 36" Overall Depth (Jamb + Frame): 3 1/4" <hr/> #1 - Vinyl Window, Regency, Single slider, Regular 36" x 36" Sashes split evenly Operators : Left single slider (2) Default exterior colour : White Default interior colour : White Energy Plus (Standard) Extruded screen <div style="text-align: right;">Total (Selling) : (2 x \$ 441.52 *) = \$ 883.04</div>						
1		East 36x48 Frame : 36" x 48" Exterior moulding : 36" x 48" Overall Depth (Jamb + Frame): 3 1/4" <hr/> #1 - Vinyl Window, Regency, Single hung, 1 lite 36" x 48" Sashes split evenly Operators : Single hung Default exterior colour : White Default interior colour : White Energy Plus (Standard) Extruded screen <div style="text-align: right;">Total (Selling) : (1 x \$ 502.54 *) = \$ 502.54</div>						
Note: Lifestyle Home Products **		<table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 60%;">Total (modified)</td> <td style="text-align: right;">\$ 9 254.52</td> </tr> <tr> <td>HST (13%)</td> <td style="text-align: right;">\$ 1 203.09</td> </tr> <tr> <td>Total (Selling)</td> <td style="text-align: right;">\$ 10 457.61</td> </tr> </table>	Total (modified)	\$ 9 254.52	HST (13%)	\$ 1 203.09	Total (Selling)	\$ 10 457.61
Total (modified)	\$ 9 254.52							
HST (13%)	\$ 1 203.09							
Total (Selling)	\$ 10 457.61							

Invoice

4 PLEX CONVERSION



From
Freeman Mechanical
119 Merritt Street
Ingersoll, Ontario, N5C2Z9
Canada
Tax ID: HST 74245 8292 RT0001

Invoice No.
2087

Date
Jun 21 2021

Invoice Due
Jun 21 2021

To
NATHAN COUTTS
Canada

Description	Quantity	Rate	Amount
PRICE INCLUDES ABS PIPING ALL ROUGHIN PIPING (NO UNDERGROUND PIPING PRICED) BASIC MOEN CHROME FIXTURES (FAUCETS, SHOWER TRIMS) BASIC CHINA DROP IN SINKS SINGLE BOWL KITCHEN SINK STAINLESS STEEL BASIC TOILETS MODEL DEPENDING ON AVAILABILITY WATERLINES ARE TO BE 1/2 PEX TO EACH UNIT WITH A MANIFOLD IN BASEMENT PRICE IS BASED ON 1 INCH CONNECTION FEEDING MANIFOLDS HOT WATER TANKS SUPPLIED BY OWNER MIXING VALVES ON SEPARATE QUOTE DISHWASHERS ON SEPARATE QUOTE NO TUBS OR SHOWERS PRICED (ONLY ROUGH IN AND HOOK UP) CONNECT ALL FIXTURES NO BACKFLOW PRICED NO MIXING VALVE PRICED NO FIRE SEPARATION PRICED NO INSULATION PRICED	1	52951.12	\$ 52951.12
DISHWASHER ROUGH IN AND HOOKUP PLUMBING ONLY	6	329.00	\$ 1974.00
MIXING VALVES FOR HOT WATER TANKS BASED ON 3/4 SIZING FOR 4 TANKS INCLUDES MIXING VALVE AND HOOK UP	4	226.00	\$ 904.00
Sub Total			55,829.12
HST (13%)			7,257.79
Total			\$ 63,086.91

Paid to Date

\$ 0.00

Balance	
	\$ 63,086.91

Invoice Note

PLEASE NOTE THAT AFTER 30 DAYS A CHARGE OF 2% WILL BE ADDED ON ALL AMOUNTS OWING

PAYMENT METHODS ARE CASH, CHEQUE OR E-TRANSFER

PREFERRED METHOD OF PAYMENT IS E-TRANSFER TO scott@freemanmechanical.ca
ALTERNATIVELY CHEQUE BY MAIL TO 119 MERRITT ST. INGERSOLL ONTARIO, N5C2Z9
CASH OR CHEQUE CAN BE DROPPED OFF AT 50 THAMES ST. SOUTH DURING REGULAR BUSINESS (9-5) HOURS BUT PLEASE
REMEMBER TO BRING EXACT CHANGE.
THANK YOU!

FLATOUT FLOORING

1835 Oxford Street East
London, ON N5V 2Z6
519-681-7771

Customer

Nathan Coutts
6 Plex Conversion- 145 Ross St. St. Thomas
n.coutts@gmail.com

Quotation

Date:	April 28, 2021
Valid Until:	May 28, 2021
Prepared By:	Agata Kukawka

Project Description

Floor preparation, supply and install SPC and tile.
Supply and install trim.

Description of Services	Amount
Subfloor Preparation	\$8,312.34
<p>Suite 5 & 6</p> <ul style="list-style-type: none"> Grind and prep concrete substrate to make acceptable to receive new material. <p>Suite 1, 2, 3 & 4</p> <ul style="list-style-type: none"> Supply and install 3/8" plywood and screws in all areas that receive SPC. Supply and install 3/8" Fiberock Underlayment in all areas to receive tile. 	
SPC	\$14,625.79
<p>Suite 1, 5, & 6</p> <ul style="list-style-type: none"> Supply and install Richmond Reflections Firm Fit Plank 7" W SPC "Harmony" throughout kitchen, living area, bedroom including closet, and hall linen closet. <p>Suite 2, 3, & 4</p> <ul style="list-style-type: none"> Supply and install Richmond Reflections Firm Fit Plank 7" W SPC "Harmony" throughout kitchen, living area, bedroom including closet, and laundry (washer/dryer closet). <p>Front Entrance</p> <ul style="list-style-type: none"> Supply and install Richmond Reflections Firm Fit Plank 7" W SPC "Harmony" in entrance/landing. (This entrance leads to Suite 3). <p>Stairs</p> <ul style="list-style-type: none"> Supply and install Richmond Reflections Firm Fit Plank 7" W SPC "Harmony" on 15 stair treads. Risers to be painted by Client. Supply and install metal stair nosing. 	



Tile	\$3,318.84
<p>Suite 5 & 6</p> <ul style="list-style-type: none"> Supply and install 12" x 24" floor tile on bathroom floor in a stacked pattern. <ul style="list-style-type: none"> Beaubridge, "Cool Grey" Grout: TBD Metals: Reno-TK, Satin Anodized Aluminum <p>Suite 1, 2, 3 & 4</p> <ul style="list-style-type: none"> Supply and install Ditra uncoupling membrane on bathroom floor. Supply and install 12" x 24" floor tile on bathroom floor in a stacked pattern. <ul style="list-style-type: none"> Beaubridge, "Cool Grey" Grout: TBD Metals: Reno-TK, Satin Anodized Aluminum 	
Trim	\$9,148.15
<ul style="list-style-type: none"> Supply and install 4 1/2" x 1/2" Primed MDF Zen Profile 9-1969 baseboard throughout all Suites. Supply and install 2 3/4" x 3/4" Primed MDF Zen Profile 9-1743 casing on all windows, and doors throughout all Suites. 	

Subtotal	\$35,405.11
Tax Rate	13%
Sales Tax	\$4,602.66
Total	\$40,007.78

Special Notes and Instructions
<ol style="list-style-type: none"> Protective coverings are included. Furniture to be removed and closets to be emptied by others. More accurate pricing can be provided pending site evaluation. Flatout assumes no responsibility for damage caused by expansions and/or contractions (shrinkage) of subfloor, walls or counter tops due to faulty construction by others or due to atmospheric changes in temperature and humidity causing movements in areas material is installed on or finished. All plumbing and appliances are to be disconnected and lifted by a licensed professional before the arrival of Flatout Flooring. All debris to be removed by Flatout Flooring. Flatout Flooring uses appropriate painter's tape to attach plastic to walls and trim and will not be held liable for the under performance of low-quality paint finishes. If substrate requires replacement or repairs this will be evaluated, and change order will be prepared. This quotation is not an invoice and only an estimate of services/goods described above.

Please confirm your acceptance of this quote by signing this document and returning it by fax, email or in person.

Print Name

Signature

Date



REAUME CABINETS

1862 ELGINFIELD RD.
PARKHILL, ONTARIO
N0M-2K0
519-294-0817
FAX 519-294-0706

Date: June 28, 2021

TO: 519 Developments

PROJECT NAME: 145 Ross Street
St. Thomas, ON

SUPPLY AND INSTALLATION OF:

6 kitchens and vanities, as per drawing
All kitchens consist of 5/8 white mcp with white pvc edging
All doors – white thermal wrap emboss (104 style)
20" metal boxes drawers
110 degree self-closing hinges
Handles – brush nickel knobs
Post form standard color countertops with backsplash and regency profile

\$ 29,875.00
+ 13% HST



RZE
Roes-Zehr Electric Ltd.

ECRA FSA 7012571

Quotation

Date:	1/8/2021
Quote #:	Q2021-433
Payment Terms:	Due on receipt
P.O. No.	.
Validation Period:	2/8/2021

Customer:

Project: 145 Ross Street
St. Thomas, ON

We are pleased to offer the following quotation for your consideration.

This quote includes all labour, material and equipment to carry out work per the following details.

Work Included:

General Building Electrical:	19,977.00
-Demo	
-Tree trimming	
-Data conduit feeder conduits (6)	
-ACWU power cable feeder to each unit (6)	
-House breaker panel	
-Meterstack for multi-tenant metering	
-Remove 600V service	
-Heaters in basement and stairwell	
-Basement lighting and general outlets	
-Exterior building lighting	
6 Suite Wiring (Typical of 6)	35,460.00
-As per breakdown	
\$5,910.00 per Unit	

Not Included:

- Light Fixtures and lamps
- Exhaust fans and venting
- Temp power & Lighting
- Drywall patching
- HST



Total: \$55,437.00

To proceed with this work, please sign and return to RZE Ltd.



73 Halliday Drive
Tavistock ON N0B 2R0



office 519-655-6820
cell 519-532-6256



roeszehr.rze@gmail.com



roeszehr.com



Breakdown:

General Building:

- Demo all existing electrical
- Tree trimming around hydro service stack
- Data conduit feeders to each unit from utility room

Utility Room/ basement:

- 6 keyless lampholders c/w s.p. switch
- Outlet for sump,
- 2 fan force heaters 4800W
- 1 general recp
- 1 interconnected C.O./ smoke and strobe detector
- 1 ceiling light outlet c/w s.p. switch
- 1 general recp
- 100A, 16/32cct breaker panel (house panel) and meterbase
- Meterbase stack including 6 hydro meter locations
- #1 ACWU alum feeder to each tenant panel located in units
- #1 ACWU alum feeder to house panel

Stairs:

- 1 keyless lampholder c/w 2 3-way switches
- 1 fan force heater 500W

Upper Electrical Room:

- Re-work existing 400A service and re-feed new splitter in basement
- Remove existing 600V service including stack to overhead

General House Lighting:

- 2 Exterior light outlets (front and back entry) c/w timer switch
- 6 slimline 4" LED potlights in front upper soffit on timer switch



Tenant Units

Suite #1:

Entry/Foyer:

- 1 ceiling light outlet c/w 2 3-way switches
- 1 recp

Kitchen:

- 2 ceiling light outlet c/w s.p. switch (over peninsula)
- 2 slim line 4" LED potlights c/w s.p. switch
- Outlet for stove, fridge, microwave and hood fan
- 1 counter top T-slot recp's
- 1 counter top GFCI T-slot recp's
- 1 peninsula T-slot recp

Living Room:

- 4 slimline 4" LED potlights c/w 2 3-way switches
- 4 recp's
- 1 Voice, data outlet
- Connection of 2x IDU.1 and 1x HP.1

Hallway:

- 2 Slimline 4" LED potlights c/w 2 3-way switches
- 2 recp's
- 1 interconnected C.O./ smoke and strobe detector
- 1 Door bell c/w button

Bathroom:

- 1 vanity light outlet +1 slimline 4" LED potlight above shower c/w s.p. switch
- Wiring and connection of bath fan c/w timer switch
- 1 GFCI protected recp

Laundry:

- Outlets for washer and dryer

Bedroom:

- 1 ceiling light outlet c/w s.p. switch
- 5 recp's
- 1 interconnected smoke/strobe detector
- 1 Voice, data outlet
- 100A, 16/32cct breaker panel



Suite #2:

Entry/Foyer:

- 1 ceiling light outlet c/w 2 3-way switches
- 1 recp

Kitchen:

- 2 ceiling light outlet c/w 2 3-way switches (over peninsula)
- 2 slim line 4" LED potlights c/w 2 3-way switches
- Outlet for stove, fridge, microwave and hood fan
- 1 counter top T-slot recp's
- 1 counter top GFCI T-slot recp's
- 1 peninsula T-slot recp

Living Room:

- 4 slimline 4" LED potlights c/w 2 3-way switches
- 4 recp's
- 1 Voice, data outlet
- Connection of 2x IDU.1 and 1x HP.1

Hallway:

- 2 Slimline 4" LED potlights c/w 2 3-way switches
- 2 recp's
- 1 interconnected C.O./ smoke and strobe detector
- 1 Door bell c/w button

Bathroom:

- 1 vanity light outlet +1 slimline 4" LED potlight above shower c/w s.p. switch
- Wiring and connection of bath fan c/w timer switch
- 1 GFCI protected recp

Laundry:

- Outlets for washer and dryer

Bedroom:

- 1 ceiling light outlet c/w s.p. switch
- 5 recp's
- 1 interconnected smoke/strobe detector
- 1 Voice, data outlet
- 100A, 16/32cct breaker panel

Suite #5:



Entry/Foyer:

- 1 ceiling light outlet c/w 2 3-way switches
- 1 recp
- 1 exterior light outlet c/w s.p. switch

Kitchen:

- 1 ceiling light outlet c/w 2 3-way switches
- 2 slim line 4" LED potlights c/w 2 3-way switches
- Outlet for stove, fridge, microwave and hood fan
- 1 counter top T-slot recp's
- 1 counter top GFCI T-slot recp's

Living Room:

- 4 slimline 4" LED potlights c/w 2 3-way switches
- 4 recp's
- 1 Voice, data outlet
- Connection of 2x IDU.1 and 1x HP.1

Hallway:

- 1 Slimline 4" LED potlights c/w 2 3-way switches
- 2 recp's
- 1 interconnected C.O./ smoke and strobe detector
- 1 Door bell c/w button

Bathroom:

- 1 vanity light outlet c/w +1 slimline 4" LED potlight above shower c/w s.p. switch
- Wiring and connection of bath fan c/w timer switch
- 1 GFCI protected recp

Laundry:

- Outlets for washer and dryer

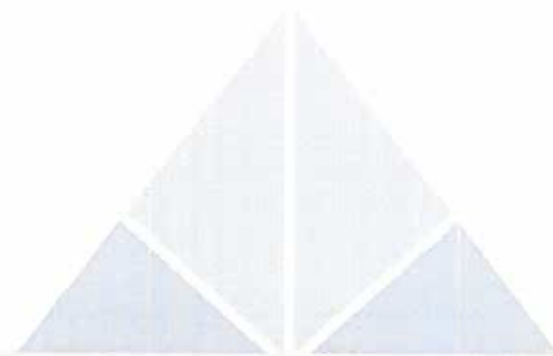
Bedroom:

- 1 ceiling light outlet c/w s.p. switch
- 5 recp's
- 1 interconnected smoke/strobe detector
- 1 Voice, data outlet
- 100A, 16/32cct breaker panel

Suite #6:

Entry/Foyer:

- 1 ceiling light outlet c/w 2 3-way switches
- 1 recp





- 1 exterior light outlet c/w s.p. switch

Kitchen:

- 1 ceiling light outlet c/w 2 3-way switches
- 2 slim line 4" LED potlights c/w 2 3-way switches
- Outlet for stove, fridge, microwave and hood fan
- 1 counter top T-slot recp's
- 1 counter top GFCI T-slot recp's

Living Room:

- 4 slimline 4" LED potlights c/w 2 3-way switches
- 4 recp's
- 1 Voice, data outlet
- Connection of 2x IDU.1 and 1x HP.1

Hallway:

- 1 Slimline 4" LED potlights c/w 2 3-way switches
- 2 recp's
- 1 interconnected C.O./ smoke and strobe detector
- 1 Door bell c/w button

Bathroom:

- 1 vanity light outlet + 1 slimline 4" LED potlight above shower c/w s.p. switch
- Wiring and connection of bath fan c/w timer switch
- 1 GFCI protected recp

Laundry:

- Outlets for washer and dryer

Bedroom:

- 1 ceiling light outlet c/w s.p. switch
- 5 recp's
- 1 interconnected smoke/strobe detector
- 1 Voice, data outlet
- 100A, 16/32cct breaker panel

2nd Floor:

Suite #3:

Entry/Foyer:

- 2 ceiling light outlets for stairs c/w 2 3-way switches
- 1 recp





- 1x fanforce heater 500W

Kitchen:

- 2 ceiling light outlet c/w 2 3-way switches (over peninsula)
- 2 slim line 4" LED potlights c/w 2 3-way switches (dimmer)
- Outlet for stove, fridge, microwave and hood fan
- 1 counter top T-slot recp's
- 1 counter top GFCI T-slot recp's

Living Room:

- 4 slimline 4" LED potlights c/w 2 3-way switches
- 4 recp's
- 1 Voice, data outlet
- Connection of 2x IDU.1 and 1x HP.1

Hallway:

- 2 Slimline 4" LED potlights c/w 2 3-way switches
- 2 recp's
- 1 interconnected C.O./ smoke and strobe detector
- 1 Door bell c/w button

Bathroom:

- 1 vanity light outlet + 1 slimline 4" LED potlight above shower c/w s.p. switch
- Wiring and connection of bath fan c/w timer switch
- 1 GFCI protected recp

Laundry:

- Outlets for washer and dryer

Bedroom:

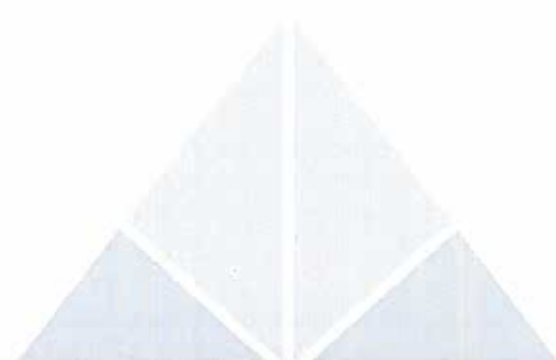
- 1 ceiling light outlet c/w s.p. switch
- 5 recp's
- 1 interconnected smoke/strobe detector
- 1 Voice, data outlet
- 100A, 16/32cct breaker panel

Suite #4:

Entry/Foyer:

- 1 ceiling light outlet c/w 2 3-way switches
- 1 recp
- 1 exterior light outlet c/w s.p. switch

Kitchen:





- 2 ceiling light outlet c/w 2 3-way switches (over peninsula)
- 2 slim line 4" LED potlights c/w 2 3-way switches (dimmer)
- Outlet for stove, fridge, microwave and hood fan
- 2 counter top T-slot recp's
- 1 counter top GFCI T-slot recp's

Living Room:

- 4 slimline 4" LED potlights c/w 2 3-way switches
- 4 recp's
- 1 Voice, data outlet
- Connection of 2x IDU.1 and 1x HP.1

Hallway:

- 2 Slimline 4" LED potlights c/w 2 3-way switches
- 2 recp's
- 1 interconnected C.O./ smoke and strobe detector
- 1 Door bell c/w button

Bathroom:

- 1 vanity light outlet + 1 slimline 4" LED potlight above shower c/w s.p. switch
- Wiring and connection of bath fan c/w timer switch
- 1 GFCI protected recp

Laundry:

- Outlets for washer and dryer

Bedroom:

- 1 ceiling light outlet c/w s.p. switch
- 5 recp's
- 1 interconnected smoke/strobe detector
- 1 Voice, data outlet
- 100A, 16/32cct breaker panel

ESA inspections, permits and fee's



May 3rd, 2021

Re: 145 Ross St.

Attention: Nathan Coutts,

- 1) To frame and drywall all exterior walls with 1 5/8" light gauge metal studs or furring as per site conditions.
- 2) To frame insulate and drywall all interior walls and ceilings as per drawings.
- 3) All walls to be taped ready for paint.
- 4) Sound insulation in party walls only not in floor cavities nor exterior walls.
- 5) Install acoustic ceilings in rear two main floor units.
- 6) Fire proof where needed on new drywall walls.
- 7) No spray foam insulation included in this price.
- 8) This price does not include any wood related products. Ex. Backing, doors and paneling.
- 9) Daily clean up into GC provided bin.
- 10) This price is for day time work only.

Total. \$92,800.00 + HST

Let me know if you have any questions,

Thanks for the opportunity to price on this project,

A handwritten signature in black ink, appearing to read 'G. Hotham', is written over the typed name.

Glenn Hotham
Sharp Drywall Systems
905 699-5688