

## **A G E N D A**

### **THE THIRD MEETING OF THE COMMITTEE OF ADJUSTMENT OF THE CITY OF ST. THOMAS 2022**

---

**TELECONFERENCE**

**10:00 A.M.**

**THURSDAY  
FEBRUARY 24, 2022**

**DISCLOSURE OF INTEREST**

**MINUTES**

Confirmation of the minutes of the meeting held on February 10, 2022.

**HEARING OF APPLICATIONS**

A02/22 - Palumbo Developments Inc. - 6 Welch Court **Pages 2-27**

Planning Report - A02/22 **Pages 28-29**

A03/22 - Palumbo Developments Inc. - 14 Welch Court **Pages 30-55**

Planning Report - A03/22 **Pages 56-57**

A04/22 - Steve & Amanda MacLeod - 41 Honey Bend **Pages 58-76**

Planning Report - A04/22 **Pages 77-79**

**NEW BUSINESS**

Next Meeting

To Be Determined.

**ADJOURNMENT**

## CONFIRMATION OF AN APPLICATION FOR MINOR VARIANCE

---

January 21, 2022

Secretary-Treasurer, Committee of Adjustment  
Attention: Jon Hindley

Pursuant to By-Law 30-2015, a consultation meeting was held on December 21, 2021 with Planning staff and the applicant.

An application for a Minor Variance, regarding 6 Welch Court, was filed on January 19, 2022 and the required fee under Section 69 of the Planning Act has been provided.

Please contact the Planning & Building Services Department if you have any questions.

Regards,



Jim McCoomb, MCIP, RPP  
Manager of Planning Services





**Sent via email**

January 19, 2022

Jon Hindley  
Secretary-Treasurer  
Committee of Adjustment  
City Clerk's Department  
City of St. Thomas  
545 Talbot Street  
St. Thomas, ON  
N5P 3V7  
[jhindley@stthomas.ca](mailto:jhindley@stthomas.ca)

Dear Mr. Hindley:

**RE: Applications for Minor Variance  
Palumbo Developments Inc.  
6 & 14 Welch Court  
St. Thomas, ON  
Our File: PLB/STH/20-01**

---

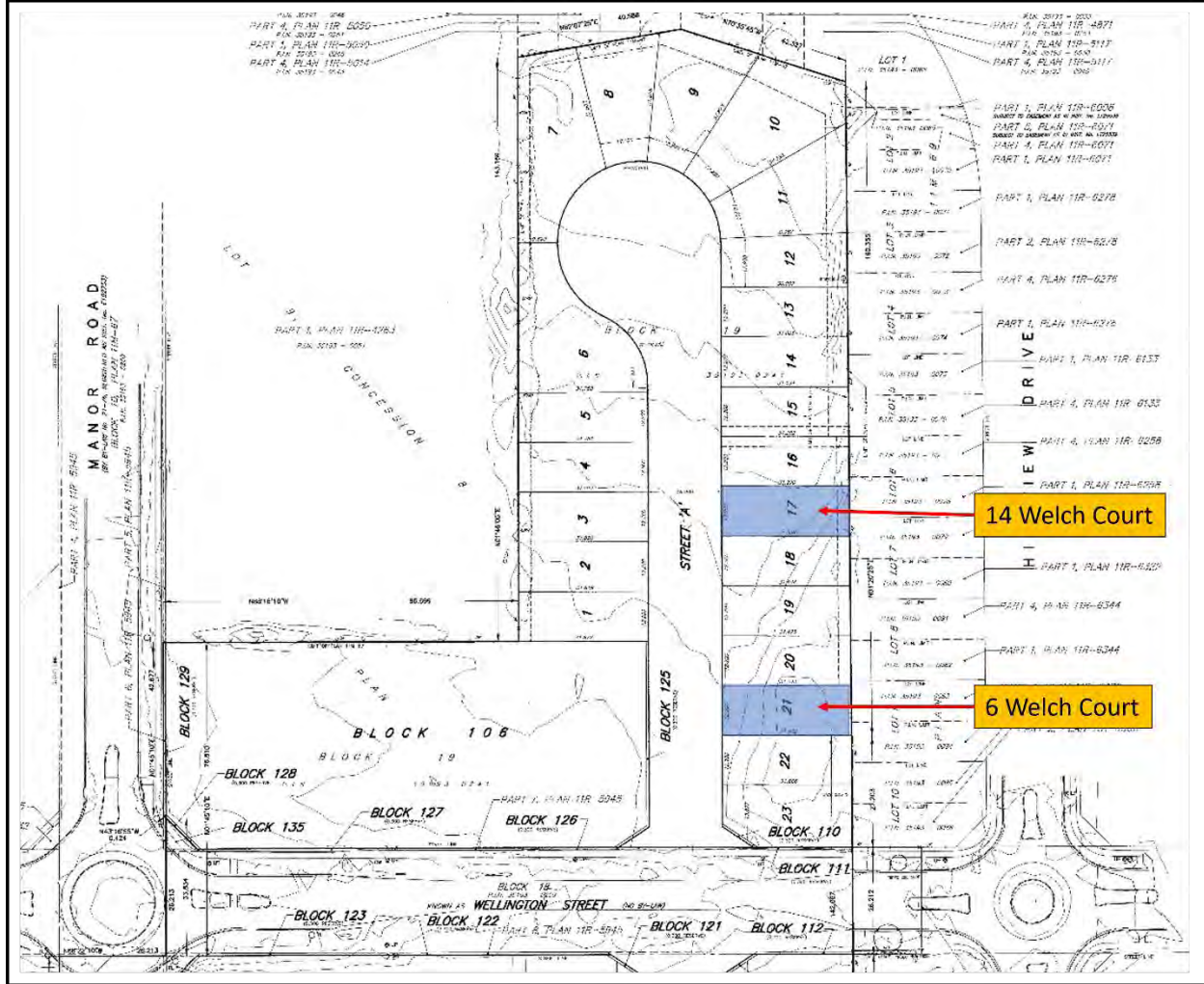
Zelinka Priamo Ltd., on behalf of Palumbo Developments Inc. ("Palumbo"), is pleased to submit an application for Minor Variance as it relates to the above noted properties (the "subject lands").

The subject lands were created by Plan of Subdivision (City File No. 34T-18502) and are described legally as follows:

- 6 Welch Court: Lot 21, Plan 11M-250
- 14 Welch Court: Lot 17, Plan 11M-250

Palumbo is the current owner of the subject lands, which form part of the Manorwood Subdivision, generally located at the east end of the City of St. Thomas, on both sides of Wellington Street between Manor Road and Highview Drive. More specifically, the subject lands are located on the east side of Welch Court, which extends north from Wellington Street (see Figure 1). Welch Court has been recently constructed with full municipal services and is capable of accommodating development. The subject lands are currently vacant, and each property is intended to be developed for residential (single detached dwelling) purposes.

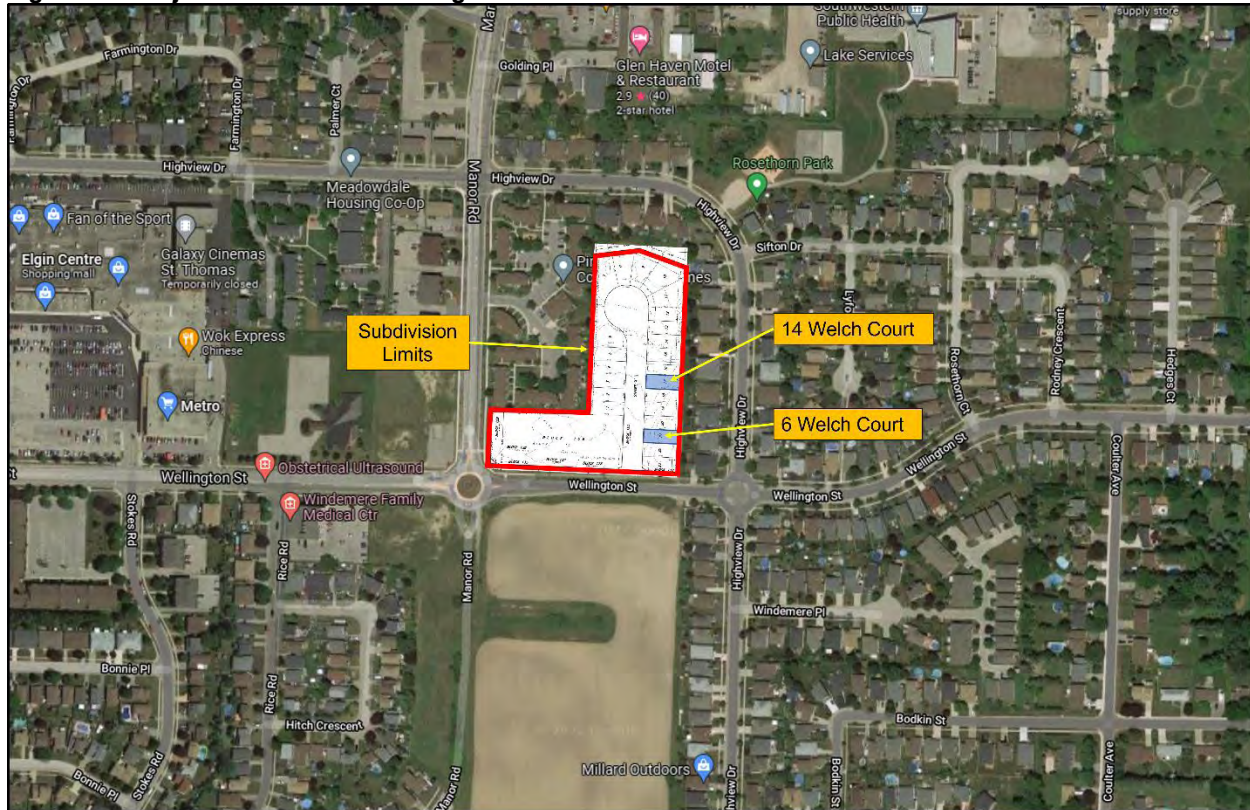
Figure 1 – Subject Lands



The surrounding area consists of low density residential development (single-detached, semi-detached) to the immediate north, east, and south of the subject lands; multi-family residential (mid-rise apartments, townhouses) to the west; commercial (Elgin Centre Shopping Mall, Metro Grocery Store), institutional (St. Thomas Christian Church), medical facilities (Windemere Family Medical Centre) further to the west along Wellington Street; and open space/recreational (Optimist Park) to the southwest. Transit services are readily available and within walking distance to the subject lands via Route 2 (Elgin Mall Route), which runs along Wellington Street (see Figure 2).



**Figure 2 – Subject Lands & Surrounding Area**



The subject lands are within the “Residential” land use designation in the City of St. Thomas Official Plan; and are currently zoned “Third Residential-Special Zone (R3-42)” in the City of St. Thomas Zoning By-Law. The Residential designation permits and encourages low, medium, and high-density residential uses in various building forms; and the R3-42 Zone permits only single detached dwellings, semi-detached dwellings, home occupations, and accessory uses.

The proposed development on each of the properties would consist of a 2-storey single detached dwelling with attached garage, together with associated outdoor amenity space. Lot grading/site plans and detailed plans are attached showing the proposed building footprint and building design for each property.

However, in order to permit the proposed developments, the following variance to the Zoning By-Law is required for each property:

- Relief from Subsection 7.4, Table 1, Column (1), Column (1), Item 5 to permit a maximum lot coverage 38% for a single detached dwelling, whereas a maximum lot coverage of 35% is permitted.

As shown on the attached plans, the proposed lot coverage for 6 Welch Court is 37.27%; and the proposed lot coverage for 14 Welch Court is 37.59%.

### **Minor Variance Tests & Analysis**

To assess the merit of an application for Minor Variance, the four tests for Minor Variance under the Planning Act are applied. An overview of the four tests is as follows:

#### **Does the proposed variance maintain the intent and purpose of the Official Plan?**

The Residential designation within the Official Plan permits all forms of residential development (low density, medium density, and high density), allocating residential intensity based on locational criteria. Low density residential uses are considered having a maximum of 25 units per hectare; medium density residential between 25 and 75 units per hectare; and high density residential exceeding 75 units per hectare. The subject lands are within a low-density residential area along Welch Court; and the proposed form of housing on the subject lands consists of single detached dwellings, which falls within the low density residential (single- and semi-detached) category.

The proposed increase in lot coverage for both properties does not alter the intent of the Official Plan as it relates to the subject lands; the intended use of the subject lands is for single detached dwellings, consistent with the low-density residential policies of the Official Plan.

As such, the proposed variance to increase the maximum lot coverage for both properties maintain the intent and purpose of the current Official Plan.

#### **Does the proposed variance maintain the intent and purpose of the Zoning By-Law?**

As previously noted, the subject lands are zoned R3-42, which permits the proposed use consisting of a single detached dwelling on both properties.

The proposed variance to increase the maximum lot coverage will allow for a wider range of building designs and sizes available within the subdivision to address the needs of potential homeowners.

Other than the requested variance, the proposed development on both properties complies with all other provisions of the Zoning By-law. As such, the requested variance is consistent with the intent and purpose of the Zoning By-Law.

**Is the proposed variances minor in nature?**

The proposed variance to increase the maximum lot coverage for a single detached dwelling in this instance is minor considering that the slightly increased building footprint does not create any other deficiencies within the Zoning By-law, particularly with respect to minimum setback requirements from abutting properties, thus ensuring that adequate separation and privacy is provided between the proposed structures and adjacent structures and outdoor amenity spaces.

**Is the proposed variance desirable for the appropriate use of subject lands?**

The proposed variance is desirable as the slight increase in lot coverage does not create any issues or other zoning deficiencies that could have an undesirable impact on abutting properties. Larger single detached dwellings on only two of the properties within the subdivision will provide a wider choice of building design and sizes available to future homeowners, without changing the original intended use for the subject lands (single detached dwelling), consistent with the policies of the Official Plan, the provisions of the Zoning By-law, and the conditions of Draft Plan of Subdivision Approval.

The requested variance will not result in unacceptable adverse effects on adjacent properties and, as such, is desirable for the appropriate use of the subject lands.

As demonstrated above, the requested variance to increase the maximum lot coverage for single detached dwellings satisfies the four tests for a Minor Variance as it maintains the intent and purpose of the Official Plan and the Zoning By-Law, is minor in nature, and is desirable for the appropriate use of the subject lands.

**Provincial Policy Statement (2020)**

In addition to the above tests, the proposed minor variance is consistent with the following policies in the 2020 Provincial Policy Statement:

- 1.1.1 a), b); 1.1.3.1; 1.1.3.2 a); 1.1.3.4; 1.4.3 b), f)

The proposed development on each property consisting of a 2-storey single detached dwelling on lands that are suitable for the proposed use:

- represents an efficient development and land use pattern that will sustain the well-being of the Municipality (1.1.1 a));
- will enhance the range and mix of housing opportunities available to all age groups and income levels within the Community (1.1.1 b));
- takes place within a settlement area (St. Thomas), and will make efficient use of existing infrastructure (1.1.3.1 & 1.1.3.2 a));

- promotes appropriate development standards which facilitate intensification, redevelopment, and compact form with no risks to public health or safety (1.1.3.4);
- facilitates and provides a wider range of housing options, through residential intensification and redevelopment, for current and future residents (1.4.3 b); and
- establishes appropriate development standards for residential intensification, redevelopment and new residential development which minimizes the cost of housing and facilitates compact form, while maintaining appropriate levels of public health and safety (1.4.3 f)).

In conclusion, it is our opinion that the proposed minor variance is appropriate, represents sound land use principles, and will not create unacceptable adverse impacts on surrounding uses.

As per the submission requirements for a Minor Variance application, please find the following materials enclosed in support of the application:

- One (1) copy of the completed application form and declarations for each property;
- Two (2) cheques, each made payable to the "City of St. Thomas" in the amount of \$400.00;
- Lot Grading/Site Plan – 6 Welch Court; and
- Lot Grading/Site Plan – 14 Welch Court.

We trust that the enclosed information is complete and satisfactory and look forward to a timely approval process. Should you have any questions or require additional information, please feel free to contact our office.

Yours very truly,

**ZELINKA PRIAMO LTD.**



Harry Froussios, BA, MCIP, RPP  
Senior Associate

cc. Marco Palumbo – Palumbo Developments Inc.



Clear Form

## CORPORATION OF THE CITY OF ST THOMAS

## COMMITTEE OF ADJUSTMENT

## APPLICATION FOR MINOR VARIANCE OR FOR PERMISSION

(Section 45 of the Planning Act, RSO, 1990, as amended)

<b>OFFICE USE:</b>	Date Application Received: <u>January 19/22</u>	Consultation Date: <u>December 21/21</u>
	Date Application Deemed Complete: <u>January 20/22</u>	

Application #: \_\_\_\_\_

APPLICATION IS HEREBY MADE TO:

City of St. Thomas  
 545 Talbot Street  
 St. Thomas ON N5P 3V7  
 Tel: (519) 631-1680 ext 4125 Fax: (519) 633-9019  
 Email: [jhindley@stthomas.ca](mailto:jhindley@stthomas.ca)

Please note that in accordance with By-Law 30-2015, consultation with the Planning and Building Services Department must take place prior to the submission of an application. After consultation, the application will be filed with the Assistant Secretary-Treasurer, together with the sketch referred to in Note 1 and \$400 made payable to the City of St. Thomas. All information and materials submitted for the applications shall be made available to the public, as indicated by Section 1.0.1 of the Planning Act, R.S.O. 1990.

Personal information contained on this form is collected under the authority of the Planning Act, R.S.O. 1990, as amended, and Ontario Regulation 200/96 and will be used for the purpose of processing this application.

1. Name of Owner(s) Palumbo Developments Inc.Address 1055 Samia Road, Unit B3, London ONPostal Code N6H 5J9 Tel: 519-439-4142 e-mail: marco@palumbohomes.ca2. Name of Authorized Agent (if any) Zelinka Priamo Ltd.(Harry Froussios)Address 318 Wellington Road, London ONPostal Code N6C 4P4 Tel: 519-474-7137 e-mail: harry.f@zpplan.comNote: Please specify to whom all communications should be sent: Owner  Agent 

3. Nature and extent of relief from the Zoning By-law applied for:

To request relief from Subsection 7.4, Table 1, Column (1), Item 5, to permit a maximum lot coverage of 38% for a single detached dwelling, whereas a minimum of 35% is required.

4. Reason why the proposed use cannot comply with the provisions of the Zoning By-law:

The proposed development has a lot coverage of 37.27 %.

5. Location of Land:

Concession No. \_\_\_\_\_ Lot(s) \_\_\_\_\_ Registered Plan No. 11M -250 Lot(s) 21

Reference Plan No. \_\_\_\_\_ Part(s) \_\_\_\_\_

Geographic/Former Township City of St. Thomas

Name of Street Welch Court Street No. 6

6. Dimensions of land affected:

Frontage 12.20 m Depth 31.612 m

Area 385.247 sq m Width of Street \_\_\_\_\_

7. Access to the subject land is by:

- a Regional Road  a private road
- a Municipal road that is maintained all year
- a Municipal road that is maintained seasonally

8. Particulars of all buildings and structures on or proposed for the subject land (Specify ground floor area, gross floor area, number of storeys, width, length, height). Please specify use of existing structures.

Existing:

Vacant

USE Residential (single detached dwelling)

Proposed:

Gross Floor Area - 143.572 sq m; No. of Storeys - 2 (see also attached Plan)

9. Location of all buildings and structures on or proposed for the subject land (Specify distance from side, rear and front lot lines). Please specify use of proposed structure.

Existing:

Vacant

Proposed:

Single-detached dwelling (see attached Plan)

USE \_\_\_\_\_

10. Date of acquisition of subject land: December 2021

11. Date of construction of all buildings and structures on subject land: March 2022

12. Existing uses of the subject land:

Vacant (future residential)



13. Existing uses of abutting lands:

North: Residential East: Residential

South: Residential West: Residential

14. Length of time the existing uses of the subject land have continued:

varies

15. Services available (check appropriate space or spaces):

Water:

Municipally owned and operated piped water system Other (Specify) \_\_\_\_\_

Sewage Disposal:

Municipally owned and operated sanitary sewer system Other (Specify) \_\_\_\_\_

Storm Drainage

Storm sewers Other (Specify) \_\_\_\_\_

16. Present Official Plan designation of the subject land:

Residential

17. Present Zoning of the subject land:

Third Residential-Special Zone (R3-42)

18. Has the owner previously applied for relief (minor variance) under Section 45 of the Act in respect of the subject property?

yes  no

If the answer is yes, describe briefly (and if known, quote Application #)

\_\_\_\_\_

19. Is the subject property the subject of a current application for a consent under Section 53 or a plan of subdivision under Section 51 of the Planning Act, 1990?

yes  no  If so, state Application # and status \_\_\_\_\_



**APPLICANT DECLARATION**

By making this application, permission is hereby granted to any Municipal staff members and Municipal Planning Consultant to enter upon the premises described in this application at a reasonable time for the purpose of inspecting the property in relation to the proposed application and for distributing information concerning the same. This information is being collected pursuant to the Planning Act, Municipal Act, and Freedom of Information Act. The information contained herein will be distributed to bodies and agencies prescribed by legislation and regulation and also to interested parties.

If this application is signed by an agent or solicitor on behalf of an applicant, the owner's written authorization must accompany the application (**Appendix A**). If the applicant is a corporation acting without an agent or solicitor, the application must be signed by an officer of the corporation and the corporation's seal (if any) must be affixed.

**MUNICIPAL FREEDOM OF INFORMATION AND PROTECTION OF PRIVACY ACT**

Application information is collected under the authority of the Planning Act, R.S.O. 1990, c.P.13. In accordance with that Act, it is the policy of the City of St. Thomas to provide public access to all Planning Act applications and supporting documentation submitted to the City.

I, Harry Froussios, the Owner or Authorized Agent, hereby agree and acknowledge  
*(Print name of Owner or Authorized Agent)*

that the information contained in this application and any documentation, including reports, studies and drawings, provided in support of the application, by myself, my agents, consultants and solicitors, constitutes public information and will become part of the public record. As such, and in accordance with the provisions of the *Municipal Freedom of Information and Protection of Privacy Act*, R.S.O. 1990, c.M. 56, I hereby consent to the City of St. Thomas making this application and its supporting documentation available to the general public, including copying and disclosing the application and its supporting documentation to any third party upon their request.

**Collection of Personal Information:**

Personal information on this form is collected under the authority of Section 41 of the *Planning Act*, R.S.O. 1990 and Sections 8 (1) and 10 of the *Municipal Act*, 2001, as amended, and will be used to contact the owner, applicant and/or agent regarding the Committee of Adjustment Application. Questions about this collection should be directed to the City Clerk, 545 Talbot Street, St. Thomas, Ontario, N5P 2T9 (519) 631-1680.

**AFFIDAVIT OR SWORN DECLARATION**

I, Harry Froussios of London in the province of Ontario,  
name of applicant City

make oath and say (or solemnly declare) that the information required under Schedule 1 of Ontario Regulation 545/06 and provided by the applicant in this application is accurate, and that the information contained in the documents that accompany this application is accurate.

Sworn (or declared) before me at the London on this 19th day of January, 2022.  
City Day Month Year

\_\_\_\_\_  
Signature of Owner or Authorized Agent

\_\_\_\_\_  
January 19, 2022  
Date

\_\_\_\_\_  
Signature of Commissioner of Oaths, etc.  
DAVID JOHN HANNAM, a Commissioner, etc.,  
Province of Ontario, for Zelinka Priamo Ltd.  
Expires September 21, 2024.

\_\_\_\_\_  
January 19, 2022  
Date

**APPENDIX A – AUTHORIZATION OF OWNER**

If the applicant is not the owner of the subject lands, please complete the owner authorization concerning personal information as set out below.

I, See Attached Authorization, am the owner of the subject lands, and I authorize \_\_\_\_\_, to act on our behalf as the agent for the submissions required for all matters relating to the subject lands, and to provide any of my personal information that will be included in this application or collected during the planning process.

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature of Owner

**APPENDIX B – ACKNOWLEDGEMENT OF LEGAL AND PLANNING FEES**

In addition to the application fees listed in this application package, please note that where the City requires assistance from its solicitors or other technical or professional consultants in the processing of this application, the applicant shall be responsible for reimbursing all fees incurred by the City.

**\*Please note, Appendix B must be completed by the owner, not the authorized agent.**

I, Palumbo Developments Inc., am the **owner** of the subject lands, and I understand that further fees may be incurred by the City throughout the planning process and that I am responsible for reimbursing all fees.

January 19, 2022  
\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Signature of Owner

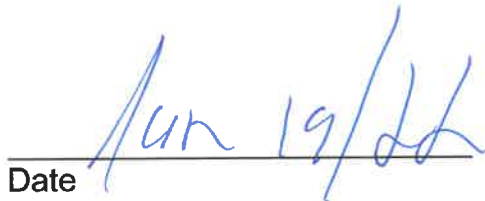
**AUTHORIZATION AS AGENT**

TO WHOM IT MAY CONCERN:

I/we hereby authorize Zelinka Priamo Ltd., to act as our agent in connection with all required planning approvals associated with the lands legally described as Lot 17, Plan 11M-250 (14 Welch Court). and Lot 21, Plan 11M-250 (6 Welch Court), in the City of St. Thomas.

Palumbo Developments Inc.

  
\_\_\_\_\_  
Authorized Signature

  
\_\_\_\_\_  
Date

**NOTES:**

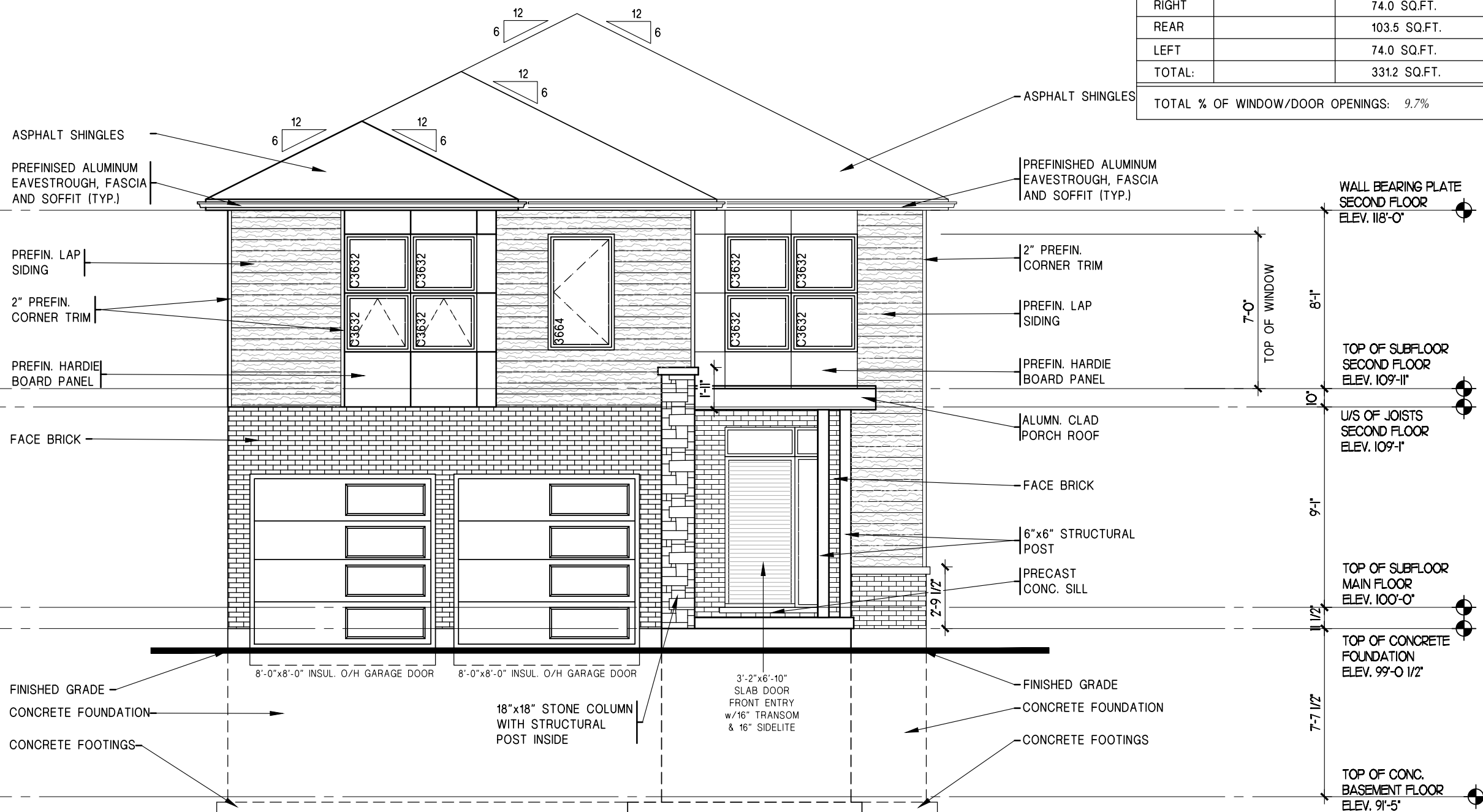
1. Each copy of this application must be accompanied by a Sketch. The Sketch need not necessarily be to scale, but dimensions must be accurate, and showing the following:
  - (a) The boundaries and dimensions of the subject land;
  - (b) The location, size and type of all existing and proposed buildings and structures on the subject land, indicating the distance of the buildings or structures from the front yard lot line, rear yard lot line and the side yard lot lines;
  - (c) The approximate location of all natural and artificial features on the subject land and on land that is adjacent to the subject land that, in the opinion of the applicant, may affect the application. Examples include buildings, driveways, swimming pools, roads, railways, drainage ditches, wells, septic tank and tile bed, and trees;
  - (d) The current uses on land that is adjacent to the subject land;
  - (e) The location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public traveled road, a private road or a right-of-way;
  - (f) If access to the subject land is by water only, the location of the parking and docking facilities to be used;
  - (g) The location and nature of any restrictive covenant or easement affecting the subject land;
2. The Committee of Adjustment may require that a preliminary drawing be prepared, signed and dated by an Ontario Land Surveyor.
3. If this application is signed by an agent or solicitor on behalf of an applicant, the owner's written authorization must accompany the application. If the applicant is a corporation acting without agent or solicitor, the application must be signed by an officer of the corporation and the corporation's seal (if any) must be affixed.

**PERFORMANCE PACKAGE A1**

IN ACCORDANCE WITH SB-12 TABLE 3.11.2 (IP)  
OF THE 2012 ONTARIO BUILDING CODE

ELEVATION	TOTAL AREA OF EXPOSED BUILDING FACE	PROPOSED TOTAL WINDOW/DOOR OPENING (EXCLUDING FRONT ENTRY)
FRONT		79.7 SQ.FT.
RIGHT		74.0 SQ.FT.
REAR		103.5 SQ.FT.
LEFT		74.0 SQ.FT.
TOTAL:		331.2 SQ.FT.

TOTAL % OF WINDOW/DOOR OPENINGS: 9.7%



**FLAT ENTRY ROOF / TERRACE NOTE:**

PROVIDE SLOPED ROOF TO SIDE SCUPPER DRAIN. INSTALL GLUE DOWN SINGLE PLY NON-SLIP MEMBRANE ON 5/8" T&G PLYWOOD ON SLOPED 2x6 FLOOR JOISTS. WRAP MEMBRANE UP AND OVER PARAPET WALL UNDER PREFIN. ALUM. CAP. INSTALL MEMBRANE UNDER SIDING 12" MIN., FASTEN TO SHEATHING AND SEAL.

NOTE: PROVIDE GUARDS (CONFORMING TO DIVISION B, PART 9.8.8 OF THE 2012 ONTARIO BUILDING CODE AND SB-7 TYPE GUARDS FOR HOUSING AND SMALL BUILDINGS) AT PORCH WHERE DISTANCE FROM PORCH TO GRADE IS 2'-0" OR GREATER.

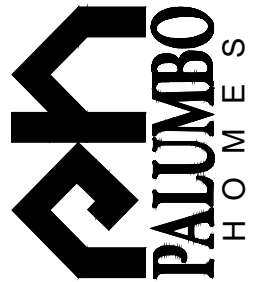
NOTE: FOR WALK-OUT & PART WALK-OUT LOTS STEP CONC. FOUNDATION AS REQ'D FOR PROPOSED GRADES ENSURING A MAX. OF 4'-0" OF LATERALLY UNSUPPORTED WALL

NOTE: WINDOW SIZES SHOWN ARE APPROXIMATE. EXACT ROUGH OPENINGS TO BE DETERMINED BY WINDOW MANUFACTURERS SPECIFICATIONS.

NOTE: WHERE PATIO/TERRACE DOOR THRESHOLD IS GREATER THAN 2'-0" ABOVE FINISHED GRADE, PROVIDE SB-7 GUARD OR PROVIDE BLOCKING TO PREVENT DOOR FROM OPENING MORE THAN 4".



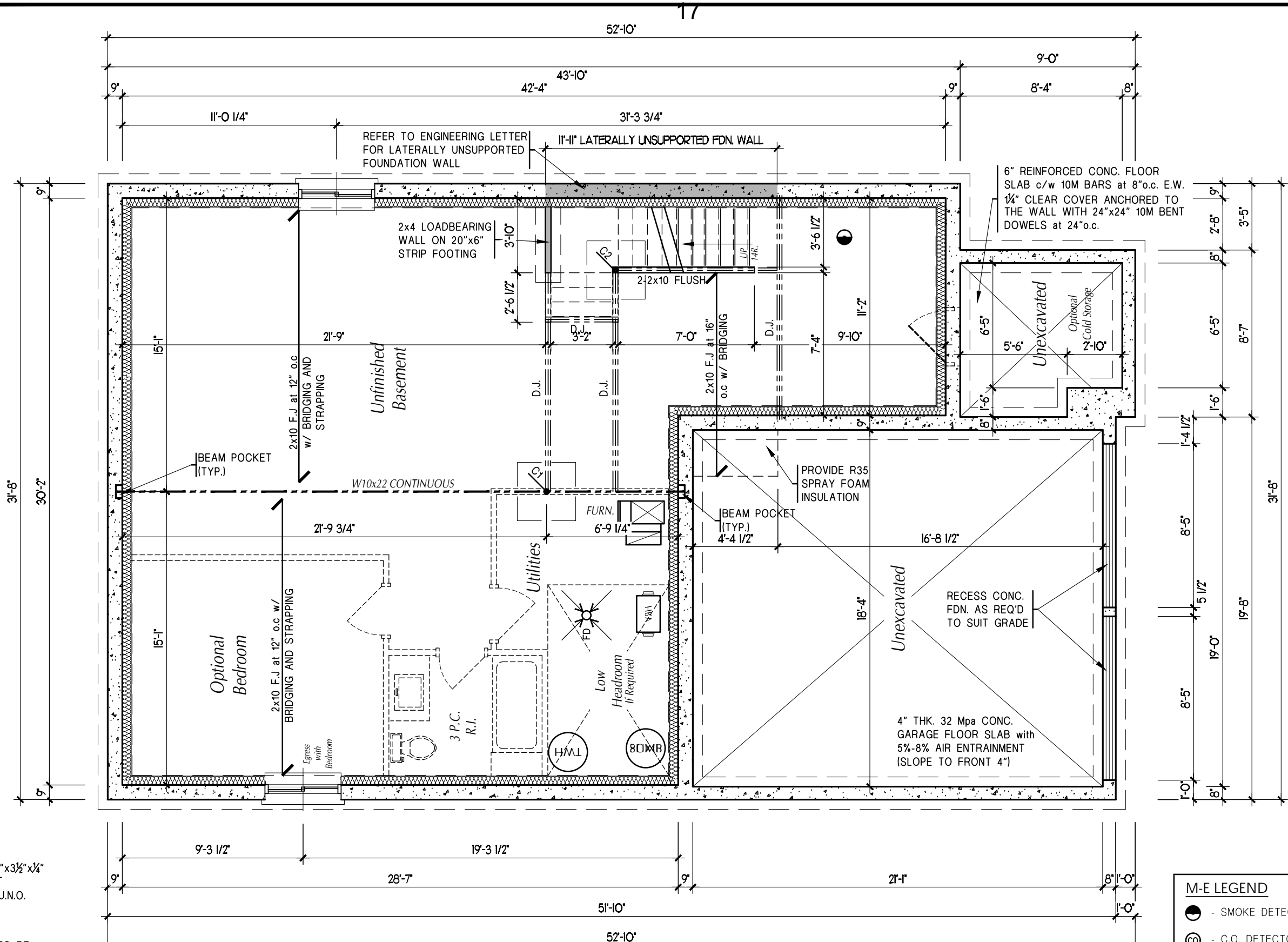
I, Garcia, McMillan review and take responsibility for the design work on behalf of our firm Orchard Design Studio Incorporated registered under Division C, Part 3 (3.2.4) of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories. Firm BCIN: 28615 Individual BCIN: 32875 Signed: \_\_\_\_\_



STATUS: BUILDING PERMIT	PLOTTED: 2022-01-17 3:04 PM
SCALE: 3/16"=1'-0"	DWN BY: C/C/M
DATE: JANUARY 2022	REV.

PROJECT: **THE CRIMSON - 2708 SQ.FT. LOT 21 WELCH COURT**  
ST. THOMAS, ONTARIO  
TITLE: **FRONT ELEVATION**

SHEET No. **1 OF 11**



**LINTEL NOTE:**  
 PROVIDE 2-2x10 + L3 1/2"x3 1/2"x 1/4"  
 ABOVE ALL BASEMENT  
 EXTERIOR WINDOWS, U.N.O.

**FOOTING NOTES:**  
 ALL STRIP FOOTINGS TO BE  
 20"x6" UNLESS NOTED OTHERWISE

**NOTE:**  
 PROVIDE BUILT-UP WOOD STUD  
 POST EQUAL TO STUD DEPTH x  
 WIDTH OF BEAM, AT BOTH ENDS  
 OF STEEL OR WOOD BEAMS  
 UNLESS NOTED OTHERWISE.

**STAIR NOTES:**  
 STAIR RUN = 9"  
 PROVIDE SOLID WOOD BLOCKING,  
 AS REQ'D, AROUND STAIRWELL  
 WALLS FOR FUTURE RAILING  
 ATTACHMENT

**NOTE RE SPECIFICATIONS:**  
 FOR STANDARD FOUNDATION  
 AND FRAMING NOTES, CODE  
 REQUIREMENTS AND TYPICAL  
 CONSTRUCTION ASSEMBLIES  
 REFER TO SHEETS AT END OF  
 PACKAGE

**FRAMING NOTES:**  
 ALL INTERIOR STUD WALLS  
 TO BE 2x4, U.N.O.  
  
 PROVIDE DOUBLE JOIST  
 FRAMING UNDER ALL  
 PARALLEL WALLS ABOVE

**NOTE:**  
 SUMP PUMP/PIT SHALL BE  
 INSTALLED AND CONNECTED  
 TO THE STORM SEWER.  
 CONTACT THE DEPARTMENT  
 OF PUBLIC WORKS FOR  
 VERIFICATION OF LOCATION

**COLUMN SCHEDULE**

C1  
 3"x3"x3/16" STEEL COLUMN (18,500  
 lb.) (ON 42"x42"x20"dp. CONC. FTG.,  
 WHERE SHOWN)

C2  
 4-PLY BUILT-UP WD. POST  
 (ON 26"x26"x10"dp. CONC. FTG.,  
 WHERE SHOWN)

**M-E LEGEND**

- - SMOKE DETECTOR
- ⊙ - C.O. DETECTOR
- ⊙ - CEILING MOUNTED EXHAUST FAN (ALL BATHROOMS AND WATER CLOSET ROOMS TO BE MECHANICALLY VENTED) NOTE: VENTILATION TO BE DETERMINED IN CONFORMITY TO O.B.C. (932) BY MECHANICAL CONTRACTOR

STATUS: BUILDING PERMIT
PLOTTED: 2022-01-17 3:03 PM
SCALE: 3/16"=1'-0"
DWN BY: C/JCM
DATE: JANUARY 2022
REV.

**PROJECT**  
**THE CRIMSON - 2708 SQ.FT.**  
**LOT 21 WELCH COURT**  
 ST. THOMAS, ONTARIO

**TITLE**  
**BASEMENT FLOOR PLAN**

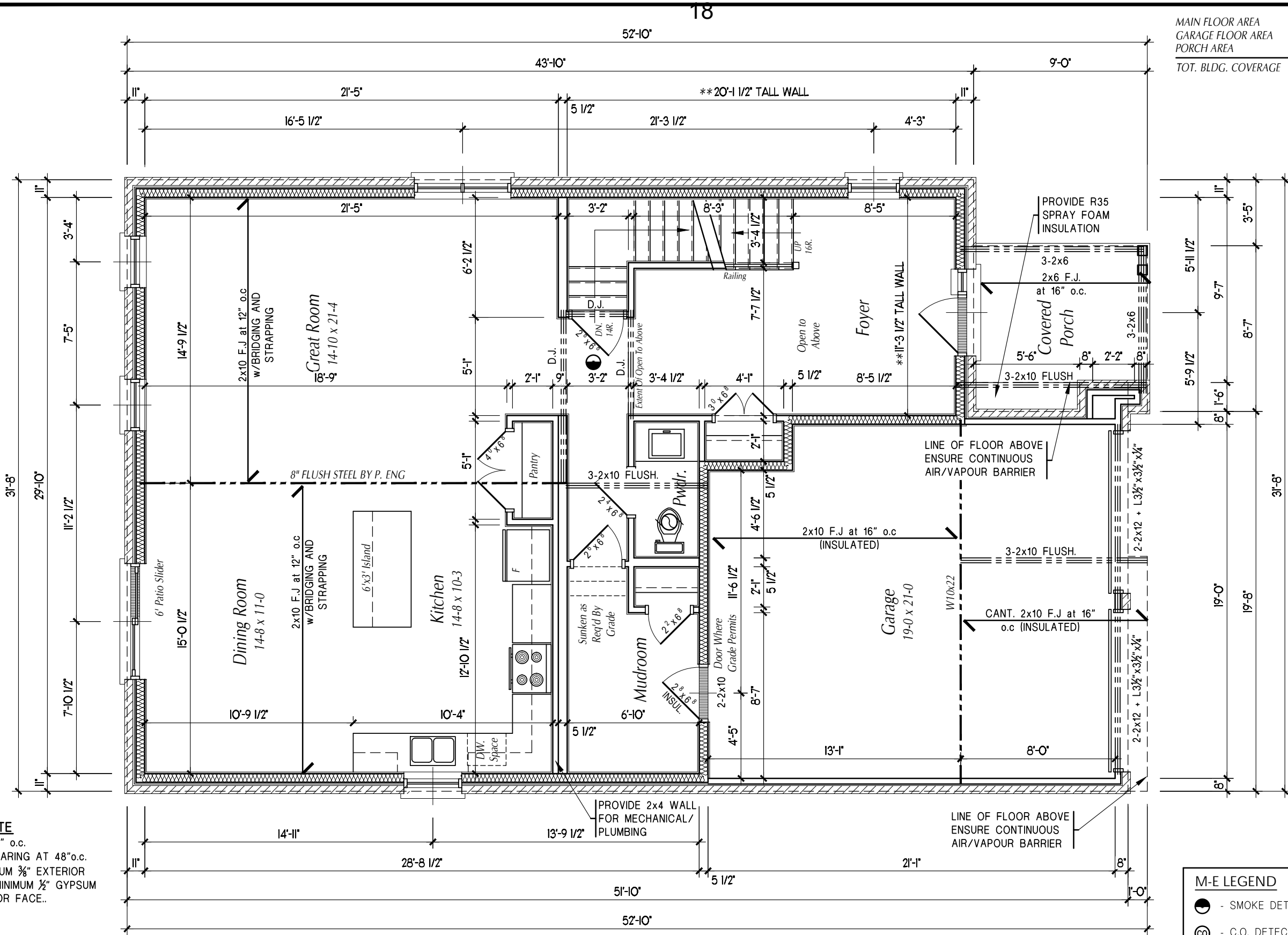
SHEET No. **2** OF **11**

**PALUMBO HOMES**

Orchard Design Studio  
 Incorporated registered under  
 Division C, Part 3 (C.2.4) of the  
 Building Code. I am qualified, and  
 the firm is registered, in the  
 appropriate classes/categories.  
 Firm BCIN: 28615  
 Individual BCIN: 32875

Orchard Design Studio Inc.  
 519-620-0414





MAIN FLOOR AREA	- 1138 sq.ft.
GARAGE FLOOR AREA	- 408 sq.ft.
PORCH AREA	- 78 sq.ft.
TOT. BLDG. COVERAGE	- 1624 sq.ft.

**\*\*TALL WALL NOTE**  
 2-2x6 STUDS at 12" o.c.  
 PROVIDE SOLID BEARING AT 48" o.c.  
 VERTICALLY, MINIMUM 3/8" EXTERIOR SHEATHING, AND MINIMUM 1/2" GYPSUM BOARD ON INTERIOR FACE..

**FRAMING NOTES:**  
 ALL INTERIOR STUD WALLS TO BE 2x4, U.N.O.  
 PROVIDE DOUBLE JOIST FRAMING UNDER ALL PARALEL WALLS ABOVE AND AROUND STAIRS  
 ALL LINTELS AND BEAMS TO BE DROPPED UNLESS NOTED OTHERWISE

**NOTE:**  
 PROVIDE BUILT-UP WOOD STUD POST EQUAL TO STUD DEPTH x WIDTH OF BEAM, AT BOTH ENDS OF STEEL or WOOD BEAMS UNLESS NOTED OTHERWISE.

**LINTEL NOTE:**  
 PROVIDE 2-2x10 + L3 1/2" x 3 1/2" x 1/4" ABOVE ALL MAIN FLOOR EXTERIOR DOORS AND WINDOWS, U.N.O.

**HANDRAIL NOTE:**  
 PROVIDE CONTINUOUS HANDRAIL THROUGHOUT THE LENGTH OF STAIR AS PER 9.8.7.2 OF THE O.B.C 2012

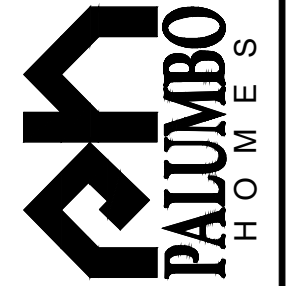
**INTERIOR GARAGE DOOR NOTE:**  
 ENSURE GARAGE DOOR TO DWELLING UNIT IS GAS PROOFED AND HAS A SELF CLOSURE.

**NOTE:**  
 SOLID FILLED WALLS INDICATE INTERIOR LOAD BEARING WALL

M-E LEGEND	
	- SMOKE DETECTOR
	- C.O. DETECTOR
	- CEILING MOUNTED EXHAUST FAN (ALL BATHROOMS AND WATER CLOSET ROOMS TO BE MECHANICALLY VENTED) NOTE: VENTILATION TO BE DETERMINED IN CONFORMITY TO O.B.C. (932) BY MECHANICAL CONTRACTOR



I Garcia, McMillan take responsibility for the design work on behalf of our firm Orchard Design Studio Incorporated registered under Division C, Part 3 (3.2.4) of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories. Firm BCIN: 28615 Individual BCIN: 32875  
 Signed: \_\_\_\_\_



STATUS: BUILDING PERMIT	PLOTTED: 2022-01-17 3:03 PM
SCALE: 3/16"=1'-0"	DWN BY: C/CM
DATE: JANUARY 2022	REV. _____

**PROJECT**  
**THE CRIMSON - 2708 SQ.FT.**  
**LOT 21 WELCH COURT**  
 ST. THOMAS, ONTARIO

**TITLE**  
**MAIN FLOOR PLAN**

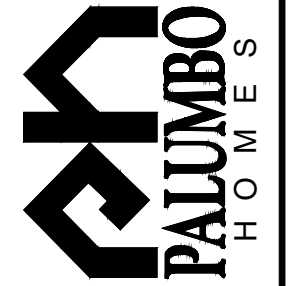
**SHEET No.**  
**3 OF 11**



FIN. BASEMENT AREA	- 000 sq.ft.
MAIN FLOOR AREA	- 1138 sq.ft.
SECOND FLOOR AREA	- 1570 sq.ft.
<b>TOTAL FINISHED AREA</b>	<b>- 2708 sq.ft.</b>
INCLUDES 187 SQ.FT. OPEN TO BELOW	



I. Garcia, McMillan review and take responsibility for the design work on behalf of our firm Orchard Design Studio Incorporated registered under Division C, Part 3 (3.2.4) of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories. Firm BCIN: 28615 Individual BCIN: 32875 Signed: \_\_\_\_\_



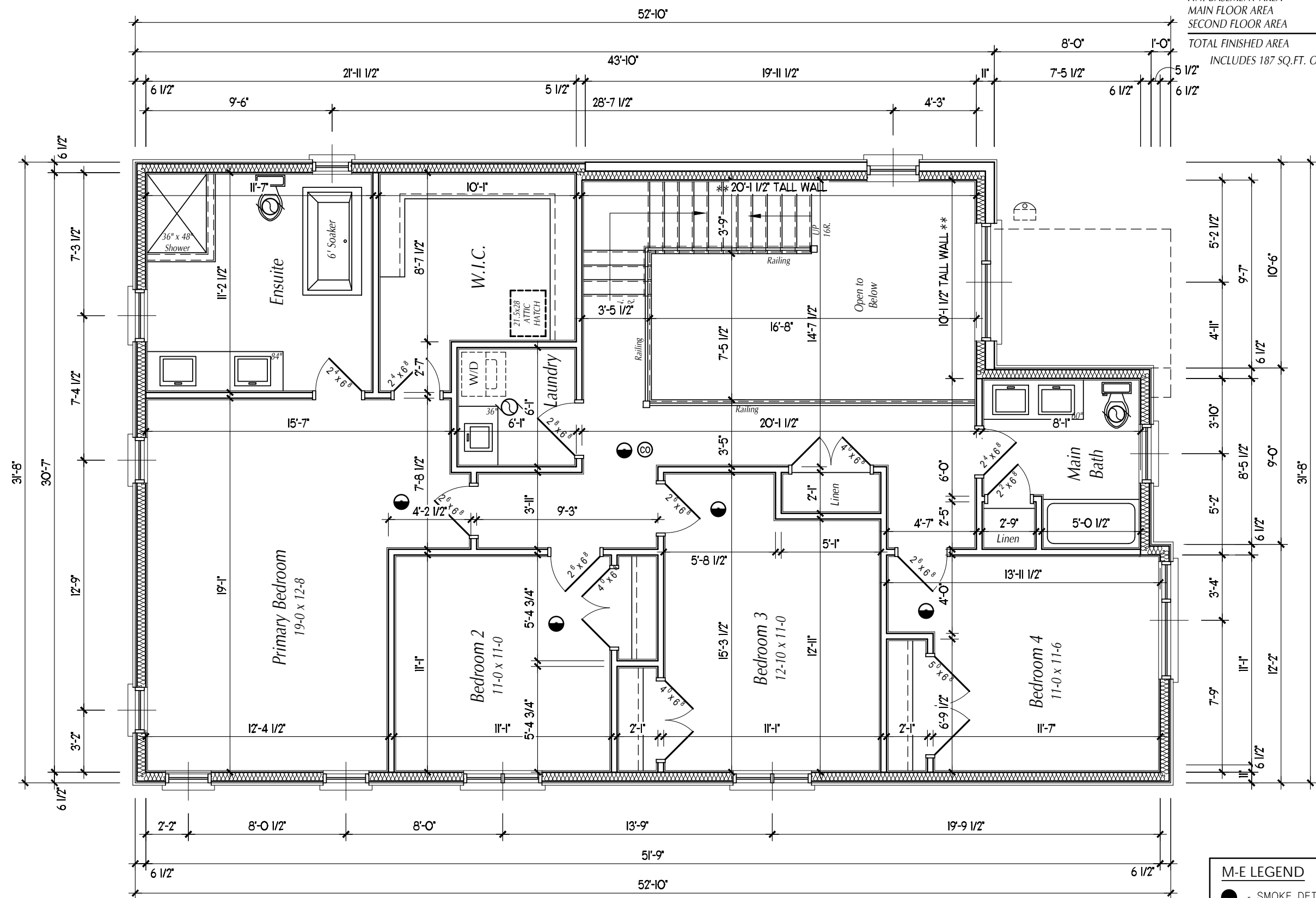
STATUS: BUILDING PERMIT
PLOTTED: 2022-01-17 3:03 PM
SCALE: 3/16"=1'-0"
DWN BY: DR
DATE: JANUARY 2022
REV.

**THE CRIMSON - 2708 SQ.FT.**  
**LOT 21 WELCH COURT**  
 ST. THOMAS, ONTARIO

**SECOND FLOOR PLAN**

PROJECT SHEET No. **4** OF **11**

DRAWINGS ARE NOT TO BE SCALED. REPORT ANY DISCREPANCIES TO ORCHARD DESIGN BEFORE PROCEEDING WITH THE WORK.



**\*\*TALL WALL NOTE**  
 2-2x6 STUDS at 12" o.c.  
 PROVIDE SOLID BEARING AT 48" o.c. VERTICALLY, MINIMUM 3/8" EXTERIOR SHEATHING, AND MINIMUM 1/2" GYPSUM BOARD ON INTERIOR FACE.

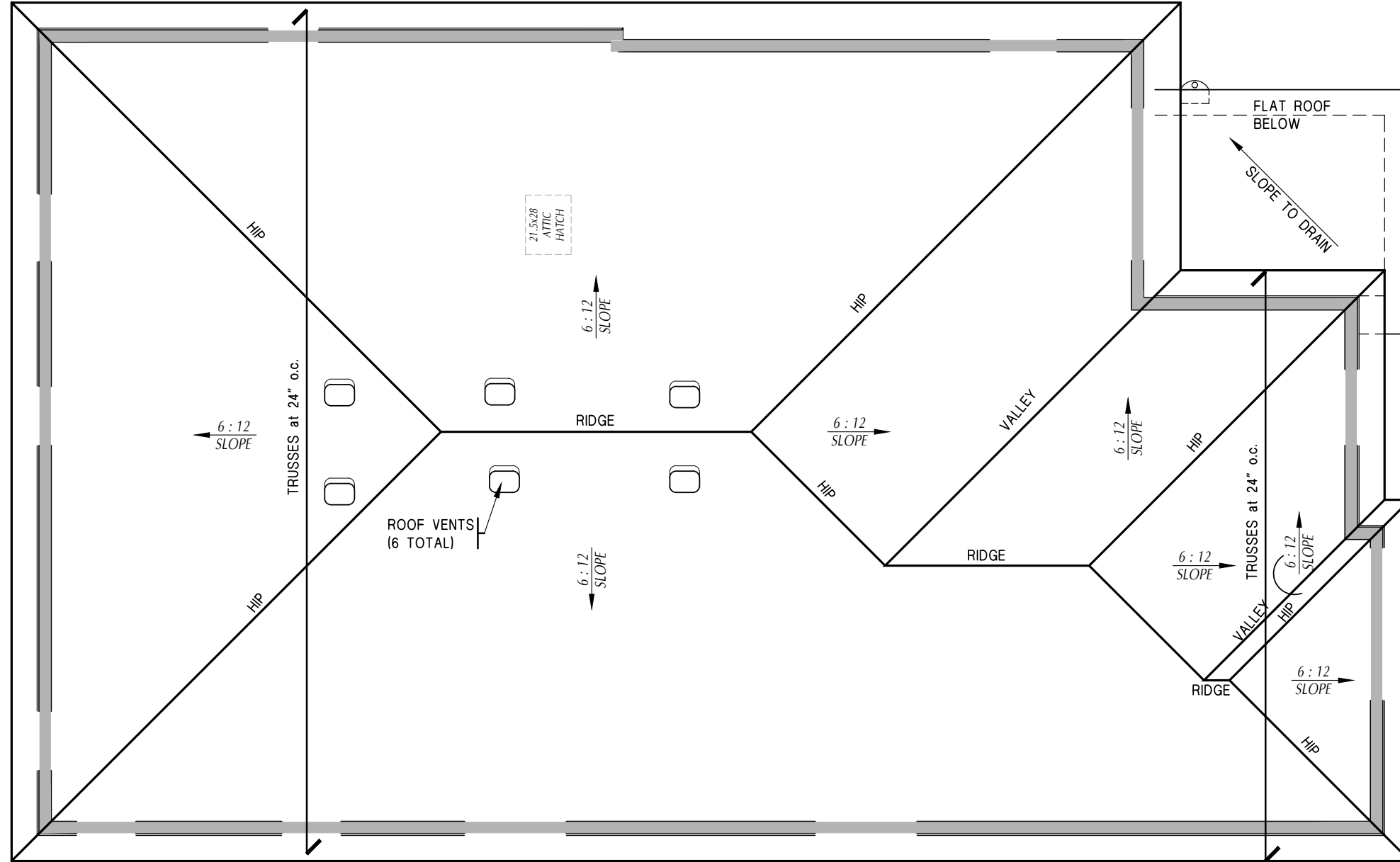
**NOTE:**  
 REINFORCE STUDS IN MAIN BATH FOR FUTURE INSTALLATION OF GRAB BARS ADJACENT TO TUB AND WATER CLOSET. AS PER O.B.C. DIV B, PART 9, 9.5.2.3

**FRAMING NOTES:**  
 ALL INTERIOR STUD WALLS TO BE 2x4, U.N.O.  
 PROVIDE DOUBLE JOIST FRAMING UNDER ALL PARALLEL WALLS ABOVE AND AROUND STAIRS

**LINTEL NOTE:**  
 PROVIDE 2-2x10 ABOVE ALL SECOND FLOOR EXTERIOR WINDOWS, U.N.O.

**M-E LEGEND**

- - SMOKE DETECTOR
- ⊙ - C.O. DETECTOR
- ⊙ - CEILING MOUNTED EXHAUST FAN (ALL BATHROOMS AND WATER CLOSET ROOMS TO BE MECHANICALLY VENTED) NOTE: VENTILATION TO BE DETERMINED IN CONFORMITY TO O.B.C. (932) BY MECHANICAL CONTRACTOR



**NOTE:**  
PROVIDE 1'-0" ROOF OVERHANG, U.N.O.

**FRAMING NOTES:**

PROVIDE BUILT-UP WOOD STUD POST EQUAL TO WIDTH OF BEAM / GIRDER UNDER ALL BEAMS AND GIRDER TRUSSES.

ROOF AND CEILING FRAMING TO BE AS PER 2006 OBC PART 9.23.13. ALL ROOF RAFTERS TO BE 2x6 AT 16" O.C. UNLESS NOTED OTHERWISE. PROVIDE 2x4 (MIN.) COLLAR TIES, WHERE REQUIRED, TO ENSURE RAFTER SPAN DOES NOT EXCEED 12'-9" HORIZONTALLY. COLLAR TIES MORE THAN 7'-10" LONG TO BE LATERALLY SUPPORTED NEAR THEIR CENTRES BY 1x4 (MIN.) CONTINUOUS MEMBERS PERPENDICULAR TO THE COLLAR TIES. FOR AN UNSUPPORTED RIDGE, RAFTERS ARE TO BE TIED TO CEILING JOISTS AT BASE AND NAILED IN ACCORDANCE WITH TABLE 9.23.13.8 TO PREVENT OUTWARD MOVEMENT. WHEN CEILING JOISTS ARE PERPENDICULAR TO RAFTERS, PROVIDE 2x6 RAFTER TIES (OR OUTRIGGERS) EVERY 3'-11" (MAX.) NAILED TO RAFTERS AS PER TABLE 9.23.13.8.

OVERFRAMED RAFTERS TO BE SUPPORTED ON LOWER RAFTERS BY 2x4 PROPS @ 24" E.W. OR DOUBLE LOWER RAFTERS WHERE THEY SUPPORT OVERFRAMED RAFTERS.

CEILING BEAMS DESIGNED ASSUMING NO LOADING FROM UPPER ROOF (U.N.O). IF OTHERWISE, CONTACT ENGINEER TO REVIEW.

PROVIDE ROOF TIES AS REQUIRED.

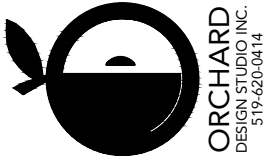
DARKENED WALLS REPRESENT LOAD BEARING WALLS.

**TRUSS MANUFACTURER NOTE:**

TRUSS MANUFACTURER OR BUILDER TO PROVIDE ROOF TRUSS DRAWINGS TO ORCHARD DESIGN STUDIO PRIOR TO TRUSS MANUFACTURING.

**FLAT ENTRY ROOF / TERRACE NOTE:**

PROVIDE SLOPED ROOF TO SIDE SCUPPER DRAIN. INSTALL GLUE DOWN SINGLE PLY NON-SLIP MEMBRANE ON 5/8" T&G PLYWOOD ON SLOPED 2x6 FLOOR JOISTS. WRAP MEMBRANE UP AND OVER PARAPET WALL UNDER PREFIN. ALUM CAP. INSTALL MEMBRANE UNDER SIDING 12" MIN., FASTEN TO SHEATHING AND SEAL.



I, **Carrie McMillan**, review and take responsibility for the design work on behalf of our firm **Orchard Design Studio** incorporated registered under Division C, Part 3 (3.2.4) of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories. Firm BCIN: 28615 Individual BCIN: 32875  
Signed: \_\_\_\_\_

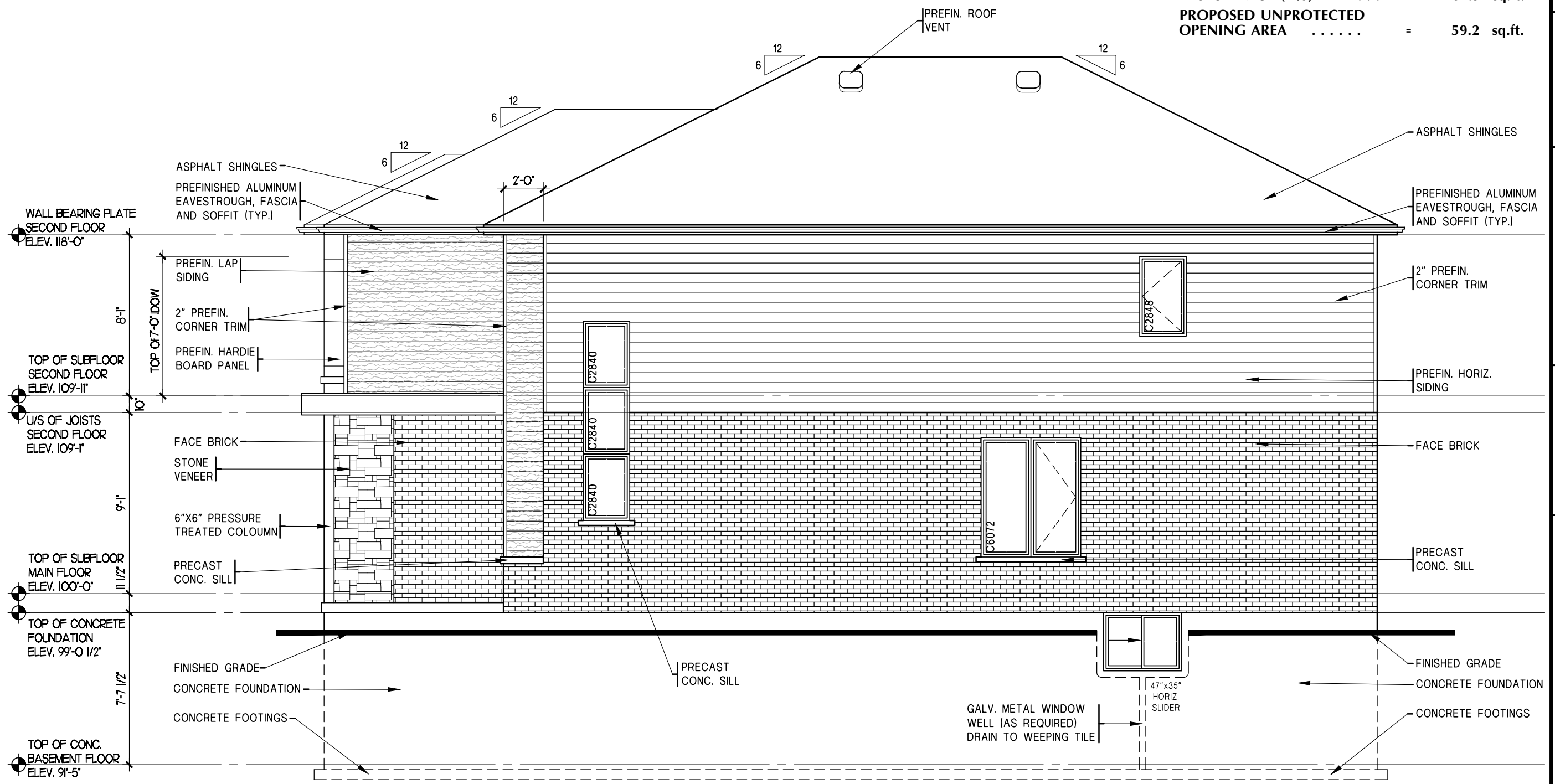


STATUS: BUILDING PERMIT
PLOTTED: 2022-01-17 3:03 PM
SCALE: 3/16"=1'-0"
DWN BY: C/C/M
DATE: JANUARY 2022
REV. _____

PROJECT	<b>THE CRIMSON - 2708 SQ.FT. LOT 21 WELCH COURT ST. THOMAS, ONTARIO</b>
TITLE	<b>ROOF PLAN</b>

SHEET No. **5** OF **11**

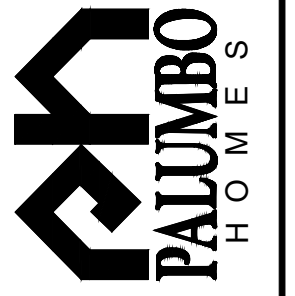
TOTAL AREA OF EXPOSED BUILDING FACE ..... = 893.1 sq.ft.  
 ALLOWABLE UNPROTECTED OPENING AREA BASED ON 4'-0" SETBACK (7%) ... = 62.5 sq.ft.  
 PROPOSED UNPROTECTED OPENING AREA ..... = 59.2 sq.ft.



**ORCHARD DESIGN STUDIO INC.**  
 519-620-0414

I, **Carla McMillan**, review and take responsibility for the design work on behalf of our firm Orchard Design Studio Incorporated registered under Division C, Part 3 (3.2.4) of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.  
 Firm BCIN: 28615  
 Individual BCIN: 32875

Signed: \_\_\_\_\_



STATUS: BUILDING PERMIT
PLOTTED: 2022-01-17 3:04 PM
SCALE: 3/16"=1'-0"
DWN BY: C/CM
DATE: JANUARY 2022
REV.

**PROJECT**  
 THE CRIMSON - 2708 SQ.FT.  
 LOT 21 WELCH COURT  
 ST. THOMAS, ONTARIO

**TITLE**  
 RIGHT SIDE  
 ELEVATION

SHEET No.  
**6** OF **11**

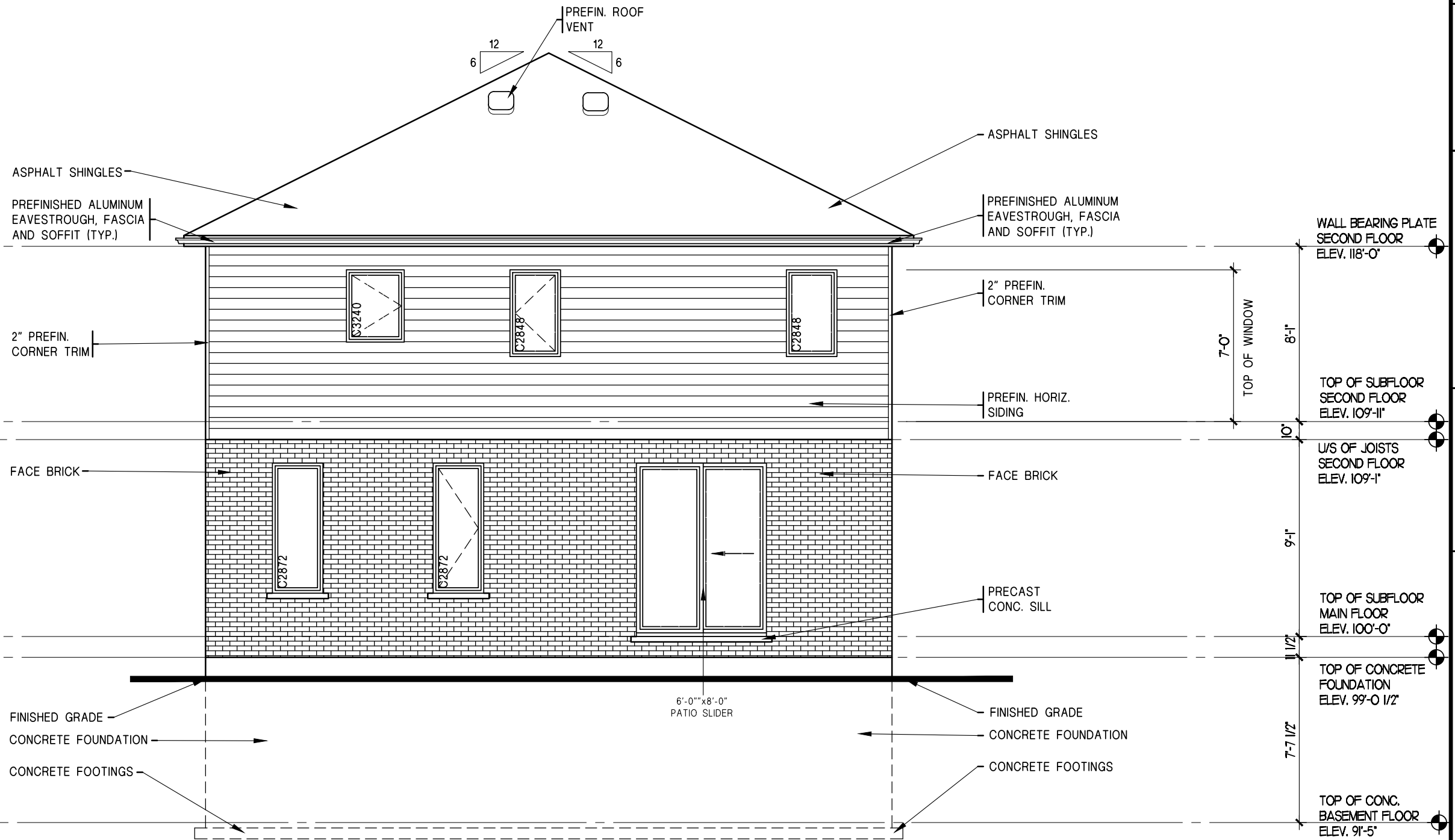
**FLAT ENTRY ROOF / TERRACE NOTE:**  
 PROVIDE SLOPED ROOF TO SIDE SCUPPER DRAIN. INSTALL GLUE DOWN SINGLE PLY NON-SLIP MEMBRANE ON 5/8" T&G PLYWOOD ON SLOPED 2x6 FLOOR JOISTS. WRAP MEMBRANE UP AND OVER PARAPET WALL UNDER PREFIN. ALUM CAP. INSTALL MEMBRANE UNDER SIDING 12" MIN., FASTEN TO SHEATHING AND SEAL.

NOTE: PROVIDE GUARDS (CONFORMING TO DIVISION B, PART 9.8.8 OF THE 2012 ONTARIO BUILDING CODE AND SB-7 TYPE GUARDS FOR HOUSING AND SMALL BUILDINGS) AT PORCH WHERE DISTANCE FROM PORCH TO GRADE IS 2'-0" OR GREATER.

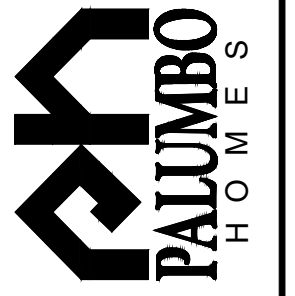
NOTE: FOR WALK-OUT & PART WALK-OUT LOTS STEP CONC. FOUNDATION AS REQ'D FOR PROPOSED GRADES ENSURING A MAX. OF 4'-0" OF Laterally UNSUPPORTED WALL

NOTE: WINDOW SIZES SHOWN ARE APPROXIMATE. EXACT ROUGH OPENINGS TO BE DETERMINED BY WINDOW MANUFACTURERS SPECIFICATIONS.

NOTE: WHERE PATIO/TERRACE DOOR THRESHOLD IS GREATER THAN 2'-0" ABOVE FINISHED GRADE, PROVIDE SB-7 GUARD OR PROVIDE BLOCKING TO PREVENT DOOR FROM OPENING MORE THAN 4".



I, **Carrie McMillan**, review and take responsibility for the design work on behalf of our firm **Orchard Design Studio**, incorporated and registered under Division C, Part 3 (C.2.4) of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.  
 Firm BCIN: 28615  
 Individual BCIN: 32875  
 Signed: \_\_\_\_\_



STATUS: BUILDING PERMIT
PLOTTED: 2022-01-17 3:04 PM
SCALE: 3/16"=1'-0"
DWN BY: C/CM
DATE: JANUARY 2022
REV. _____

**PROJECT**  
**THE CRIMSON - 2708 SQ.FT.**  
**LOT 21 WELCH COURT**  
 ST. THOMAS, ONTARIO

**TITLE**  
**REAR ELEVATION**

SHEET No. **7** OF **11**

FOLDER: XXXX

FILE: 21 Welch - Crimson - Elevation.dwg

NOTE: PROVIDE GUARDS (CONFORMING TO DIVISION B, PART 9.8.8 OF THE 2012 ONTARIO BUILDING CODE AND SB-7 TYPE GUARDS FOR HOUSING AND SMALL BUILDINGS) AT PORCH WHERE DISTANCE FROM PORCH TO GRADE IS 2'-0" OR GREATER.

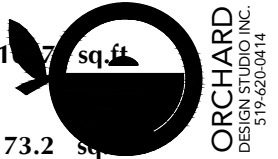
NOTE: FOR WALK-OUT & PART WALK-OUT LOTS STEP CONC. FOUNDATION AS REQ'D FOR PROPOSED GRADES ENSURING A MAX. OF 4'-0" OF LATERALLY UNSUPPORTED WALL

NOTE: WINDOW SIZES SHOWN ARE APPROXIMATE. EXACT ROUGH OPENINGS TO BE DETERMINED BY WINDOW MANUFACTURERS SPECIFICATIONS.

NOTE: WHERE PATIO/TERRACE DOOR THRESHOLD IS GREATER THAN 2'-0" ABOVE FINISHED GRADE, PROVIDE SB-7 GUARD OR PROVIDE BLOCKING TO PREVENT DOOR FROM OPENING MORE THAN 4".

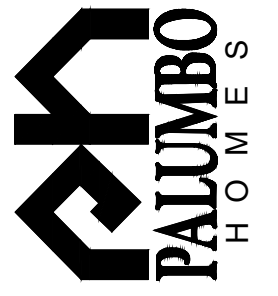
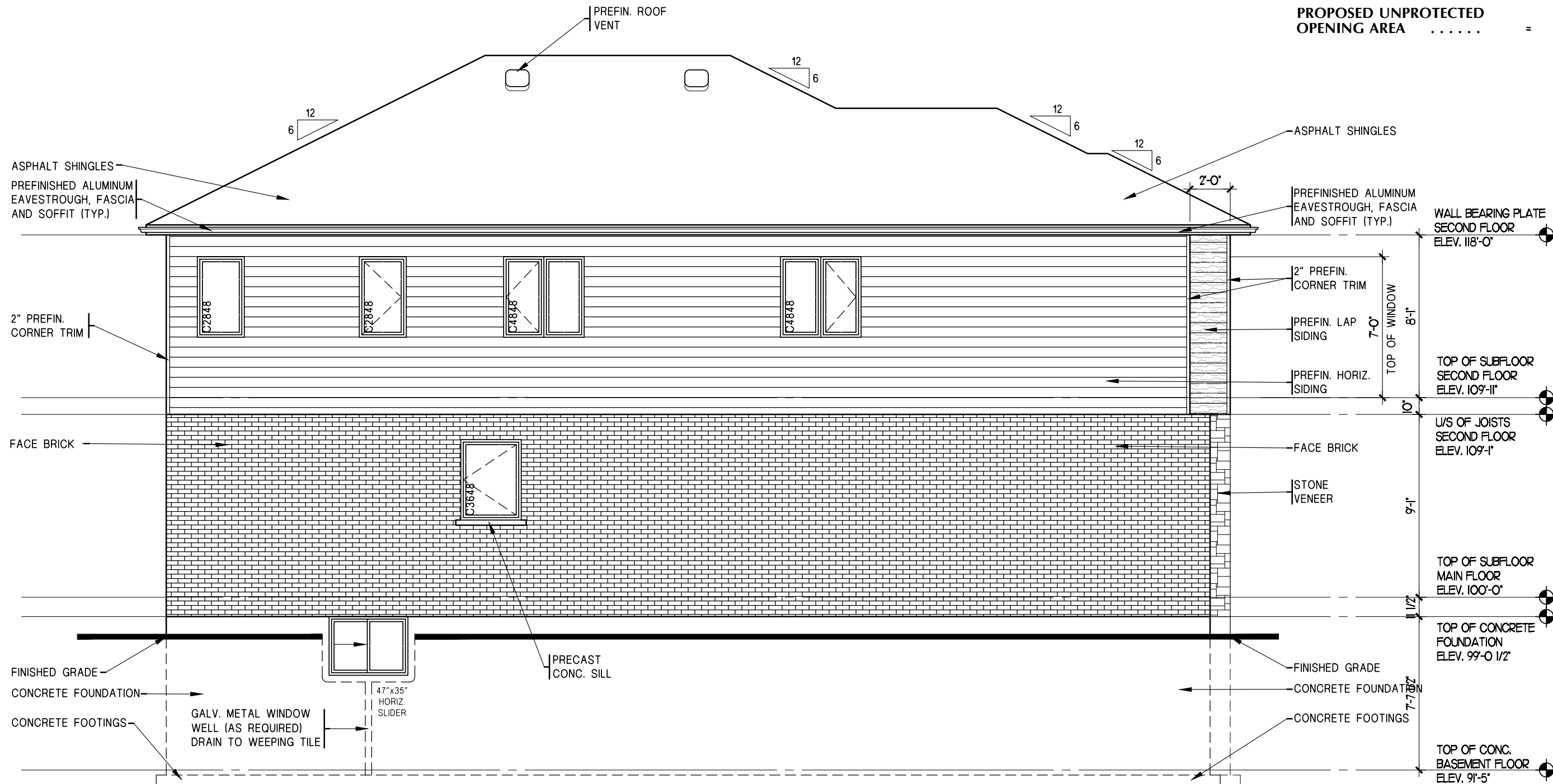
DRAWINGS ARE NOT TO BE SCALED. REPORT ANY DISCREPANCIES TO ORCHARD DESIGN BEFORE PROCEEDING WITH THE WORK.

TOTAL AREA OF EXPOSED BUILDING FACE ..... = 1177.7 sq.ft.  
 ALLOWABLE UNPROTECTED OPENING AREA BASED ON 4'-0" SETBACK (7%) ... = 73.2 sq.ft.  
 PROPOSED UNPROTECTED OPENING AREA ..... =



ORCHARD DESIGN STUDIO INC.  
 519-620-0414

I. Garcia, Architect  
 take responsibility for the design work on behalf of our firm  
 Orchard Design Studio  
 Incorporated registered under the Building Code. I am qualified and the firm is registered, in the appropriate classes/categories.  
 Firm BCIN: 28615  
 Individual BCIN: 32875  
 Signed: \_\_\_\_\_



STATUS: BUILDING PERMIT
PLOTTED: 2022-01-17 3:04 PM
SCALE: 3/16"=1'-0"
DWN BY: C/CM
DATE: JANUARY 2022
REV.

PROJECT: **THE CRIMSON - 2708 SQ.FT.**  
**LOT 21 WELCH COURT**  
 ST. THOMAS, ONTARIO  
 TITLE: **LEFT SIDE ELEVATION**

SHEET No. **8** OF **11**

FOLDER: XXXX  
 FILE: 21 Welch - Crimson - Elevation.dwg

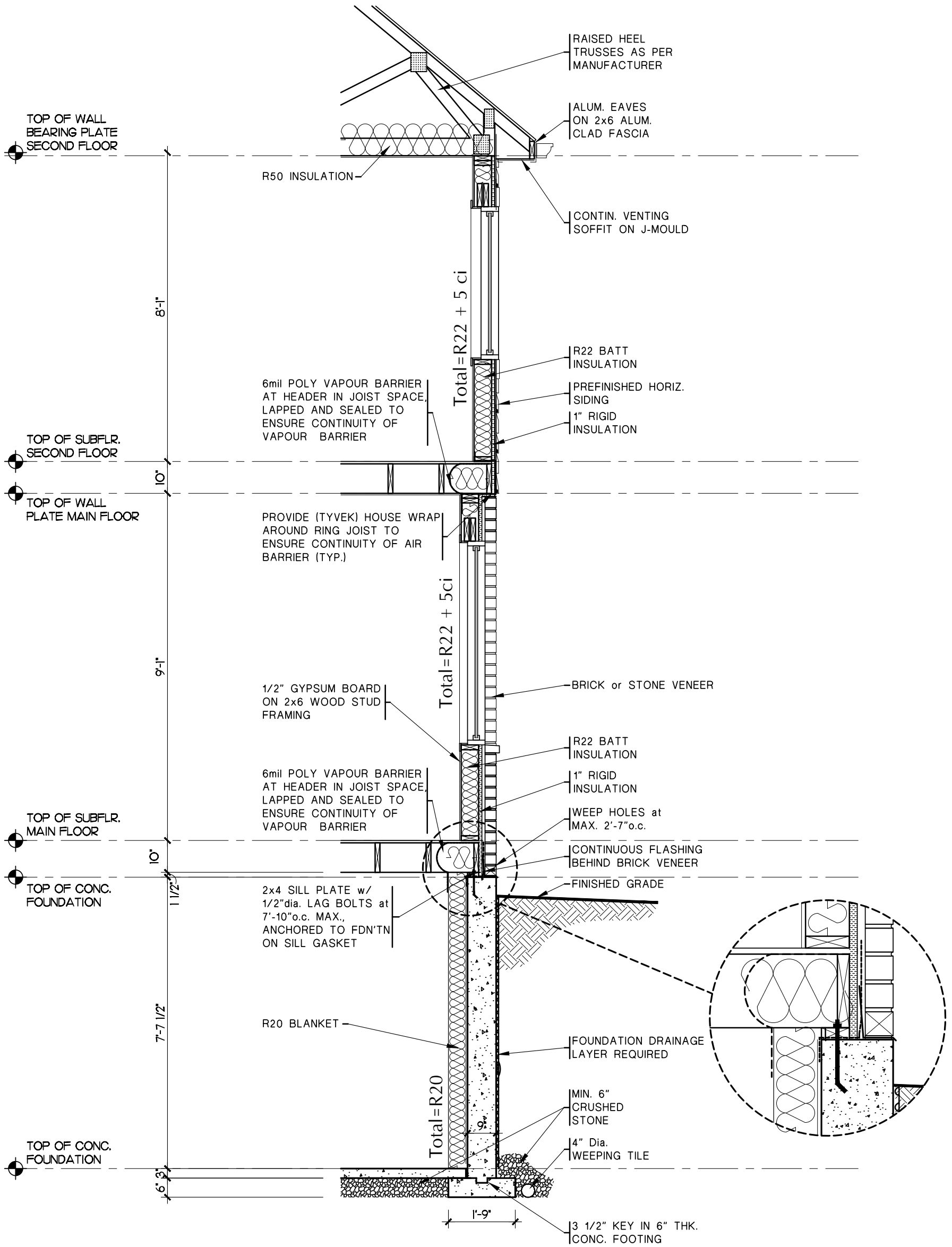
NOTE: PROVIDE GUARDS (CONFORMING TO DIVISION B, PART 9.8.8 OF THE 2012 ONTARIO BUILDING CODE AND SB-7 TYPE GUARDS FOR HOUSING AND SMALL BUILDINGS) AT PORCH WHERE DISTANCE FROM PORCH TO GRADE IS 2'-0" OR GREATER.

NOTE: FOR WALK-OUT & PART WALK-OUT LOTS STEP CONC. FOUNDATION AS REQ'D FOR PROPOSED GRADES ENSURING A MAX. OF 4'-0" OF Laterally UNSUPPORTED WALL

NOTE: WINDOW SIZES SHOWN ARE APPROXIMATE. EXACT ROUGH OPENINGS TO BE DETERMINED BY WINDOW MANUFACTURERS SPECIFICATIONS.

NOTE: WHERE PATIO/TERRACE DOOR THRESHOLD IS GREATER THAN 2'-0" ABOVE FINISHED GRADE, PROVIDE SB-7 GUARD OR PROVIDE BLOCKING TO PREVENT DOOR FROM OPENING MORE THAN 4".

DRAWINGS ARE NOT TO BE SCALED. REPORT ANY DISCREPANCIES TO ORCHARD DESIGN BEFORE PROCEEDING WITH THE WORK.



NOTE: WHERE SOIL GAS DEPRESSURIZATION IS REQ'D PROVIDE 4" Dia. PIPE INSTALLED VERTICALLY SUCH THAT ITS BOTTOM END OPENS INTO THE GRANULAR FILL, AND ITS TOP END WILL PERMIT CONNECTION TO DEPRESSURIZATION EQUIPMENT.

<p style="font-size: 2em; font-weight: bold;">9</p> <p style="font-size: 2em; font-weight: bold;">OF</p> <p style="font-size: 2em; font-weight: bold;">11</p>	<p>PROJECT</p> <p style="text-align: center; font-weight: bold; font-size: 1.2em;">CRIMSON</p> <p style="text-align: center; font-weight: bold;">LOT 21 WELCH COURT</p> <p style="text-align: center;">ST. THOMAS , ONTARIO</p>	<p>STATUS: BUILDING PERMIT</p> <p>PLOTTED: 2022-01-17 3:03 PM</p> <p>SCALE: 3/8"=1'-0"</p> <p>DWN BY: CJCM</p> <p>DATE: OCTOBER 2021</p> <p>REV. _____</p>		<p>I Carrie McMillan review and take responsibility for the design work on behalf of our firm Orchard Design Studio Incorporated registered under Division C, Part 3 (3.2.4) of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.</p> <p>Firm BCIN: 28615 Individual BCIN: 32875</p> <p>Signed: <i>Carrie McMillan</i></p>	<p style="font-size: 0.7em;">ORCHARD DESIGN STUDIO INC. 519-620-0414</p>
	<p>SHEET No.</p> <p>TITLE</p> <p style="font-weight: bold; font-size: 1.2em;">TYPICAL WALL SECTION</p>				

# CODES AND STANDARDS

## 1. STAIR DIMENSIONS

### INTERIOR STAIRS (INCLUDING THE GARAGE)

MAX. RISE 200mm (7 7/8")  
 MIN. RUN 210mm (8 1/4")  
 MIN. TREAD 235mm (9 1/4")  
 NOSING 25mm (1")  
 UNIFORM RISE AND RUN IN ANY ONE FLIGHT OF STAIRS  
 MIN. HEADROOM 1950mm (6'-5")

### GUARD HEIGHT:

- AT LANDINGS 900mm (35")
- AT STAIRS 900mm (35")
- GUARDS TO BE NON-CLIMBABLE WITH MAX. SPACING OF 100mm (4")
- HANDRAILS INSTALLED 900mm (35")

### EXTERIOR STAIRS

MAX. RISE 200mm (7 7/8")  
 MIN. RUN 210mm (8 1/4")  
 MIN. TREAD 235mm (9 1/4")  
 NOSING 25mm (1")

### GUARD HEIGHT:

- GREATER THAN 2'-0" ABOVE GRADE = 900mm (35")
- GREATER THAN 5'-11" ABOVE GRADE = 1070mm (42")

A LANDING IS REQUIRED AT THE MAIN ENTRANCE.  
 A LANDING IS REQUIRED AT ANY SECONDARY ENTRANCE WHEN MORE THAN 3 RISERS AND INSTALLED 900mm (35")

### GUARD NOTES:

ALL INTERIOR AND EXTERIOR GUARDS SHALL CONFORM TO THE ONTARIO BUILDING CODE 2012 SUPPLEMENTARY STANDARD

SB-7 GUARDS FOR HOUSING AND SMALL BUILDINGS.

### 2.2 STRUCTURAL DETAILS

FROM TABLE 2.2.1. - EXTERIOR POST AND RAIL SYSTEM CONNECTION DETAILS REFER TO CONNECTION DETAILS EA-1, EB-1 AND EC-4. FROM TABLE 2.2.2 EXTERIOR CANTILEVERED PICKET SYSTEM CONNECTION DETAILS REFER TO CONNECTION DETAILS ED-1, ED-2, AND ED-5

### 3.2 STRUCTURAL DETAILS

FROM TABLE 3.2.1. - INTERIOR POST AND RAIL SYSTEM CONNECTION DETAILS REFER TO CONNECTION DETAILS IA-1, IB-1, IC-2 AND ID-1 FROM TABLE 3.2.3. - INTERIOR STAIR GAURD CONNECTION DETAILS REFER TO CONNECTION DETAILS IF-1, IG-1, IG-3, IG-4, AND IH-1 (ALSO IC-2 MODIFIED TO SUIT SLOPE)

2. ALL FLOORS WITH CERAMIC TILE TO BE REINFORCED AS PER DIVISION B, 9.30.6 OF THE O.B.C.
3. ALL LIGHTING AND ELECTRICAL TO COMPLY WITH O.B.C. 9.34.
4. SMOKE DETECTORS ARE REQUIRED ON EACH FLOOR LEVEL AS WELL AS IN EACH SLEEPING ROOM AND ARE TO BE INTERCONNECTED.
5. RANGE HOODS TO BE VENTED TO THE EXTERIOR c/w NON-COMBUSTIBLE PIPING.
6. ATTIC VENTILATION TO COMPLY WITH DIVISION B, 9.32. OF THE O.B.C.
7. PROVIDE AN AIR BARRIER IN ACCORDANCE WITH DIVISION B, 9.25.5 OF THE O.B.C.
8. HEADROOM UNDER DUCTS AND BEAMS MIN. 6'-5".

9. INSULATE & WEATHERSTRIP ATTIC ACCESS HATCHES (MIN. 21.5"x28")
10. ALL DOORS AND WINDOWS TO COMPLY WITH RESISTANCE TO FORCED ENTRY DIVISION B, 9.7.3.1 OF THE O.B.C.
11. DOOR FROM GARAGE TO HOUSE TO BE EXTERIOR TYPE c/w WEATHERSTRIPPING AND CLOSER.
12. PROVIDE MINIMUM R25 INSULATION ON INTERIOR GARAGE WALL
13. PROVIDE MINIMUM R35 INSULATION IN FLOOR SPACE OVER GARAGE, AND ENSURE WALLS AND CEILING ON GARAGE SIDE ADJACENT TO LIVING SPACE ARE TO BE DRYWALLED AND SEALED (GAS-PROOFED).
14. EVERY FLOOR CONTAINING BEDROOMS MUST HAVE AT LEAST ONE WINDOW WITH AN UNOBSTRUCTED OPENING WITH AN OPENABLE PORTION NOT LESS THAN 0.35sq.m. (3.8sq.ft.), WITH NO DIMENSION LESS THAN 380mm (15"), AND A SILL HEIGHT NO MORE THAN 1m (3'-3") ABOVE FIN. FLOOR.
15. FOR MASONRY VENEER INSTALLATION, PROVIDE CONTINUOUS FLASHING AND WEEPHOLES EVERY 31"o/c MAX.
16. PRIOR TO PROCEEDING WITH CONSTRUCTION, THE BUILDER MUST VERIFY ALL INFORMATION, DIMENSIONS AND SPECIFICATIONS OF THIS PLAN.
17. CONTRACTOR SHALL CHECK ALL DIMENSIONS ON WORKING DRAWINGS AND REPORT ANY DISCREPANCIES TO ORCHARD DESIGN STUDIO BEFORE PROCEEDING WITH THE WORK. ANY CHANGES, ALTERATIONS OR REVISIONS MUST BE REPORTED TO ORCHARD DESIGN STUDIO BEFORE PROCEEDING WITH THE WORK.

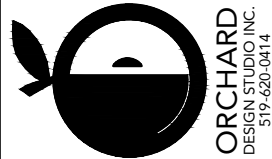
## FOUNDATION NOTES

1. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE CONSTRUCTION SAFETY ACT 1980 AND ANY SUBSEQUENT AMENDMENTS.
2. REMOVE ALL TOPSOIL, ORGANIC AND LOOSE FILL MATERIAL FROM BUILDING AREA BEFORE STARTING CONSTRUCTION.
3. PROOF ROLL EXISTING FILL MATERIAL. REMOVE ANY LOOSE OR SOFTENED AREAS BENEATH SLAB ON GRADE BEFORE PLACING GRANULAR FILL.
4. ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL OR COMPACTED FILL WITH A MINIMUM SOIL BEARING CAPACITY AS PER O.B.C. 9.15.1
5. APPROVED GRANULAR FILL UNDER FOOTINGS AND FLOOR SLABS SHALL BE COMPACTED IN 8" LAYERS TO 98% STANDARD PROCTOR MAXIMUM DRY DENSITY.
6. ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM 4 ft. BELOW FINISHED EXTERIOR GRADE TO PROTECT THE FOOTINGS FROM FROST ACTION.
7. ALL CONCRETE WORK TO CONFORM TO CSA STANDARD A438-00 AND A23.1-04.
8. REINFORCING STEEL SHALL BE DEFORMED HI-BOND HARD GRADE WITH A MINIMUM YIELD STRENGTH OF 841.2 MPa
9. ALL STUD WALLS SHALL BE ANCHORED TO THE FOUNDATION OR FLOOR SLAB WITH 1/2" DIAMETER ANCHOR BOLTS AT 7'-10 1/2" o/c MAXIMUM AS PER 9.23.6.1. OF THE O.B.C.
10. THE COMPRESSIVE STRENGTH OF UNREINFORCED CONCRETE AFTER 28 DAYS SHALL NOT BE LESS THAN, 32 MPa FOR GARAGE and CARPORT FLOORS and ALL EXTERIOR FLATWORK 20 MPa FOR INTERIOR FLOORS OTHER THAN THOSE FOR GARAGES AND CARPORTS, and 15 MPa FOR ALL OTHER APPLICATIONS, UNLESS NOTED OTHERWISE

11. ALL CONCRETE FORMS TO BE WET THOROUGHLY BEFORE POURING CONCRETE.
12. DO NOT ADD WATER TO CONCRETE. IF HIGHER SLUMP CONCRETE IS DESIRED, CONCRETE SUPPLIER SHALL DESIGN AND SUPPLY ACCORDINGLY.
13. WATER CURING OF CONCRETE IS RECOMMENDED.
14. USE A MINIMUM OF 8" COMPACTED LAYER OF 3/4" CLEAR STONE UNDER ALL GROUND SLABS.
15. ANY NECESSARY PRECAUTIONS SHALL BE TAKEN TO ENSURE THAT EXISTING FOOTINGS ARE NOT DISTURBED OR UNDERMINED IN ANY WAY DURING EXCAVATION.
16. THE FOLLOWING MINIMUM CONCRETE COVERS FOR REINFORCING STEEL SHALL BE PROVIDED: FOOTINGS 3"+/-, PIERS AND WALLS: 1 1/2"+/- UNLESS NOTED OTHERWISE.
17. SPACING OF CONTROL JOINTS IN CONCRETE SLABS SHALL NOT EXCEED 20 FEET O.C.

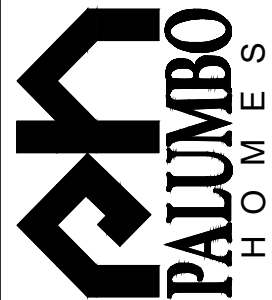
## FRAMING NOTES

1. STRUCTURAL STEEL SHALL CONFORM TO CSA G40.21-44W, G40.21-50W CLASS H FOR H.S.S AND G40.21-50W FOR W SHAPE SECTIONS.
2. STEEL BEAMS SHALL HAVE 3 1/2" MINIMUM END BEARING. STEEL LINTELS SHALL HAVE MIN. 6" BEARING ON MASONRY UNLESS INDICATED OTHERWISE.
3. ALL BEAMS CANTILEVERED OVER A COLUMN OR OTHER SUPPORT SHALL HAVE A MINIMUM OF 2- 3/8" THICK STIFFENER PLATES EACH SIDE OF WEB UNLESS INDICATED OTHERWISE.
4. COLUMN BASE PLATES AND BEAM BEARING PLATES SHALL BE GROUTED WITH 1 1/2" NON-SHRINK GROUT.
5. SHOP DRAWINGS OF STRUCTURAL STEEL SHALL BE SUBMITTED TO THE BUILDER FOR REVIEW BEFORE FABRICATION.
6. WELDING OF STRUCTURAL STEEL SHALL CONFORM TO THE REQUIREMENTS OF CSA STANDARD W59 AND SHALL BE UNDERTAKEN BY A FABRICATOR FULLY APPROVED BY THE CANADIAN WELDING BUREAU TO THE REQUIREMENTS OF CSA STANDARD W47.
7. BOLTED CONNECTIONS SHALL USE A325 BOLTS, USING BEARING TYPE CONNECTIONS.
8. PREFABRICATED WOOD TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE DETAILS AND DESIGN LOADS ON THE ARCHITECTURAL DRAWINGS AND/OR O.B.C. REQUIREMENTS. SHOP DRAWINGS OF THE ROOF TRUSSES INCLUDING LAYOUT OF THE TRUSSES, BRIDGING, BRACING AND BEARING DETAILS (INCLUDING HOLD-DOWN CLIPS) SHALL BEAR THE STAMP OF A REGISTERED PROFESSIONAL ENGINEER OF THE PROVINCE OF ONTARIO AND SHALL BE SUBMITTED TO THE BUILDER AND DESIGNER FOR REVIEW BEFORE FABRICATION.
9. ALL TIMBER FOR WOOD TRUSSES SHALL BE KILN DRIED AND WELL SEASONED IN ORDER TO PREVENT POSSIBLE DISTORTION OR DEFORMATION OF THE TRUSSES.
10. NAILING REQUIREMENTS (AS PER O.B.C.) SHALL BE AS FOLLOWS:
  - A. VERTICAL STUDS TO BOTTOM PLATES: 4- 3" ARDOX NAILS.
  - B. VERTICAL STUDS TO TOP PLATES: 4- 3 1/2" ARDOX NAILS.
  - C. ROOF TRUSSES TO PLATES: TO BE DESIGNED BY TRUSS ENGINEER.
  - D. WIND BRACING (PER TRUSS): TO BE DESIGNED BY TRUSS ENGINEER.
  - E. BRIDGING (PER TRUSS): TO BE DESIGNED BY TRUSS ENGINEER.
  - F. LINTELS: 3 1/2" ARDOX NAILS @ 12" O.C. HORIZONTAL AND 4" O.C. VERTICAL STAGGERED.
  - G. WALL SHEATHING: 1 1/2" ARDOX NAILS @ 8" O.C. TO STUDS & PLATES.
11. ALL STUD WALLS SHALL BE ANCHORED TO THE FOUNDATION OR FLOOR SLAB w/ 1/2" DIA. ANCHOR BOLTS AT 7'-10 1/2" o.c. MAX. AS PER 9.23.6.1. OF THE O.B.C.
12. ALL WOOD SHALL BE No. 2 SPRUCE OR BETTER.
13. THE GENERAL CONTRACTOR SHALL TAKE PRECAUTIONS TO NOT OVERLOAD THE STRUCTURE DURING CONSTRUCTION.
14. WHERE FLOOR JOISTS ARE PARALLEL TO EXTERIOR SUPPORT WALL TURN JOISTS BACK 2'-0" FOR BRICK CANTILEVER.



ORCHARD DESIGN STUDIO INC.  
519-620-0414

I, Carrie McMillan, review and take responsibility for the design work on behalf of our firm Orchard Design Studio Incorporated, registered under Division C, Part 3 (3.2.4) of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.  
Firm BCIN: 28615  
Individual BCIN: 32875  
Signed: *Carrie McMillan*



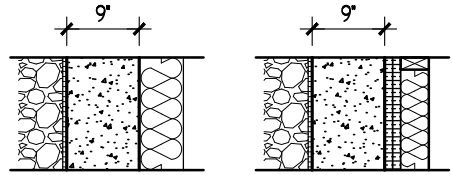
STATUS: BUILDING PERMIT	PLOTTED: 2022-01-17 3:03 PM
SCALE: 1/2"=1'-0"	DWN BY: CUCM
DATE: NOVEMBER 2021	REV.

**CRIMSON**  
**LOT 21 WELCH COURT**  
 ST. THOMAS, ONTARIO  
**CONSTRUCTION SCHEDULE**

PROJECT SHEET No. **10** OF **11**

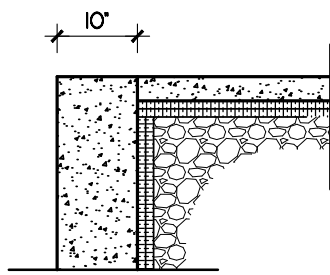


**WALL TYPES**



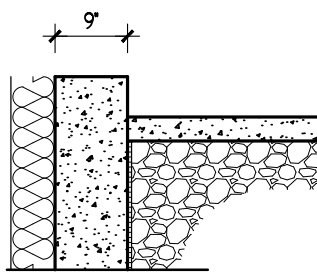
TYPICAL EXTERIOR FOUNDATION WALL  
TYPICAL EXTERIOR FOUNDATION WALL (FINISHED BASEMENT)

- 9" CONCRETE FOUNDATION BETWEEN ASPHALTIC DAMP PROOFING TO FINISHED GRADE
- R20 BLANKET INSULATION - FULL HEIGHT OF FOUNDATION WALL
- 6mil POLY VAPOUR BARRIER OVERLAPPED AND SEALED
- FOR FINISHED BASEMENT
  - SAME AS ABOVE WITH
  - R10 RIGID INSULATION w/ R12 BATT INSULATION & 2x4 STUDS at 24" IN LIEU OF R20 BLANKET INSULATION



TYPICAL FOUNDATION WALL at WALK-OUT

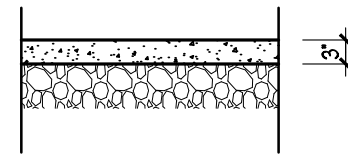
- 10" CONCRETE FOUNDATION
- R10 (2" THICK) RIGID INSULATION (MINIMUM 2'-0" BELOW FINISHED GRADE)
- SEE FOUNDATION PLANS FOR EXTENT OF WALL TO TOP OF FOOTINGS (MIN. 4'-0" BELOW GRADE)



TYPICAL FOUNDATION WALL at GARAGE

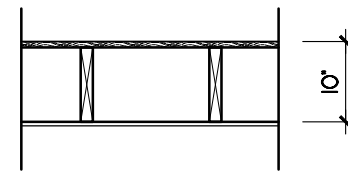
- 9" CONCRETE FOUNDATION BETWEEN ASPHALTIC DAMP PROOFING TO FINISHED GRADE
- R20 BLANKET INSULATION- FULL HEIGHT OF FOUNDATION WALL
- 6mil POLY VAPOUR BARRIER OVERLAPPED AND SEALED

**FLOOR TYPES**



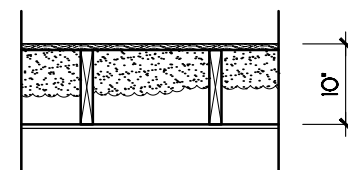
TYPICAL SLAB ON GRADE

- 3" CONCRETE SLAB ON 6mil POLY DAMP PROOFING GRANULAR 'A' BASE (COMPACT IN MINIMUM 6" THICK LAYERS)
- PROVIDE SAWN CONTROL JOINTS c/w JOINT FILLER



TYPICAL FRAMED FLOOR

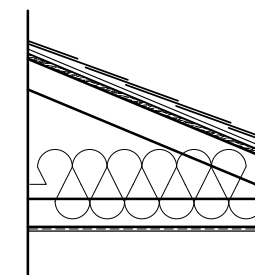
- 5/8" T&G SUBFLOOR ON 2x10 SPRUCE FLOOR JOISTS at 16"o.c. or 12"o.c. (AS NOTED ON PLANS)
- 2x2 CROSS BRIDGING at 6'-10" MAXIMUM
- 1/2" GYPSUM BOARD CEILING (SECOND FLOOR ONLY)
- 1/4" PLYWOOD UNDERLAY IN VINYL FLOOR AREAS
- BATT INSULATION at EXTERIOR HEADER SPACE



TYPICAL INSULATED FRAMED FLOOR (GARAGES)

- SAME AS FLOOR ABOVE EXCEPT 6" SPRAYED URETHANE FOAM INSULATION - MINIMUM R31
- SEAL JOIST SPACE FROM AIR INFILTRATION AND COVER COMPLETELY ALL PIPES

**ROOF TYPES**

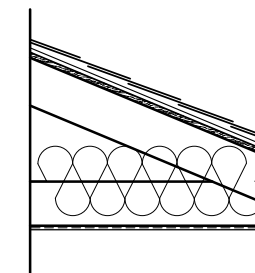


TYPICAL WOOD TRUSS ROOF

- MINIMUM 210lb. ASPHALT SHINGLES
- MINIMUM 36" WIDE EAVE PROTECTION TO MINIMUM 12" INSIDE INNER FACE OF WALL
- MINIMUM 36" WIDE VALLEY FLASHINGS AS REQUIRED
- ROOF VENTS WITH UNOBSTRUCTED FREE AREA OF 1:300 OF INSULATION CEILING AREA
- 7/16" PLYWOOD, WAFERBOARD OR O.S.B. SHEATHING c/w EDGE CLIPS ON
- PRE-ENGINEERED WOOD TRUSSES at 24"o.c.
- R50 INSULATION AT BOTTOM CHORD OF CEILING JOISTS
- INSULATION BAFFLES & AIR CHANNELS TO ENSURE ADEQUATE VENTILATION
- 6mil CONTINUOUS POLY VAPOUR BARRIER
- 1/2" GYPSUM CEILING BOARD
- IN SLOPED AREAS (SCISSOR TRUSSES WHERE NOTED ON PLANS) PROVIDE R31 SPRAY FOAM INSULATION (MINIMUM) & ENSURE 3" AIR SPACE BETWEEN INSULATION AND ROOF SHEATHING

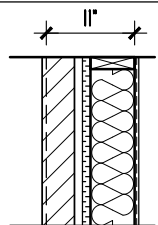
45min. RATING (SIDEYARD IS 0.6m-1.2m)

- FOR GABLE ENDS ONLY
- 2 LAYERS OF EXTERIOR GRADE 5/8" TYPE 'X' GYPSUM BOARD



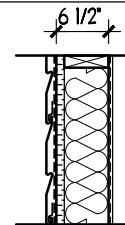
TYPICAL WOOD RAFTER ROOF

- MINIMUM 210lb. ASPHALT SHINGLES
- MINIMUM 36" WIDE EAVE PROTECTION TO MINIMUM 12" INSIDE INNER FACE OF WALL
- MINIMUM 36" WIDE VALLEY FLASHINGS AS REQUIRED
- ROOF VENTS WITH UNOBSTRUCTED FREE AREA OF 1:300 OF INSULATION CEILING AREA FOR ROOF SLOPES, UNLESS 6:12 BELOW, THEN 1:150 IS REQUIRED - SEE CODE REFERENCE 9.19.1.2
- 7/16" PLYWOOD, WAFERBOARD OR O.S.B. SHEATHING c/w EDGE CLIPS ON
- 2x6 WOOD RAFTERS at 16"o.c. (UNLESS NOTED OTHERWISE ON FRAMING PLAN)
- R50 INSULATION AT BOTTOM CHORD OF CEILING JOISTS
- INSULATION BAFFLES & AIR CHANNELS TO ENSURE ADEQUATE VENTILATION
- 6mil CONTINUOUS POLY VAPOUR BARRIER
- 1/2" GYPSUM CEILING BOARD
- R31 SPRAY FOAM INSULATION IN ROOF JOISTS (WHERE APPLICABLE) & ENSURE 3" AIR SPACE BETWEEN INSULATION AND ROOF SHEATHING



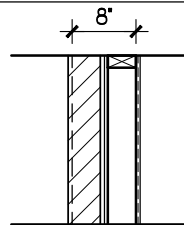
TYPICAL EXTERIOR MASONRY VENEER WALL

- BRICK VENEER c/w GALVANIZED BRICK TIES OVERHANG FOUNDATION
- 1" MINIMUM AIR SPACE
- 1" RIGID INSULATION (R-5.0)
- 7/16" WAFERBOARD OR O.S.B. SHEATHING
- 2x6 WOOD STUDS at 24" o.c. OR 16"o.c. IN KITCHEN AREA
- R22 BATT INSULATION
- 6mil POLY VAPOUR/AIR BARRIER OVERLAPPED AND SEALED
- 1/2" GYPSUM BOARD
- 1hr. RATING (SIDEYARD IS 0.0m-0.6m)
- SAME AS ABOVE WITH
- 5/8" TYPE 'X' GYPSUM BOARD IN LIEU OF 1/2" GYPSUM BOARD



TYPICAL EXTERIOR SIDING WALL

- PREFINISHED HARDIE BOARD OR SIMILAR
- 1" (R5.0) RIGID INSULATION
- 7/16" WAFERBOARD OR O.S.B. SHEATHING
- 2x6 WOOD STUDS at 16" O.C.
- R22 BATT INSULATION
- 6mil POLY VAPOUR/AIR BARRIER OVERLAPPED AND SEALED
- 1/2" GYPSUM BOARD
- 1hr. RATING (SIDEYARD IS 0.0m-0.6m)
- 1HR (0.6m-1.2m) SAME AS W-G1 NON-COMBUSTIBLE PREFIN. SIDING or DENSGLOSS w/ TYP 'X' IN LIEU OF 1/2" GYPSUM BOARD



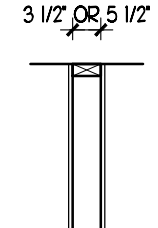
TYPICAL EXTERIOR GARAGE WALL

- BRICK VENEER c/w GALVANIZED BRICK TIES OVERHANG FOUNDATION
- 1" MINIMUM AIR SPACE
- 1/4" WAFER BOARD OR O.S.B. SHEATHING
- 2x4 WOOD STUDS at 16"o.c.
- R14 BATT INSULATION (WHERE NOTED)
- 1hr. RATING (SIDEYARD IS 0.0m-0.6m)
- SAME AS ABOVE WITH
- 5/8" TYPE 'X' GYPSUM BOARD IN LIEU OF 1/2" GYPSUM BOARD



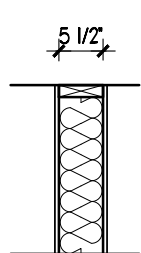
TYPICAL BASEMENT WALL at STEPPED CONDITION (UNFINISHED)

- BRICK VENEER c/w GALVANIZED BRICK TIES OVERHANG FOUNDATION
- 1" MINIMUM AIR SPACE
- 2x6 WOOD STUDS at 16"o.c. c/w
- 1" RIGID INSULATION (R5.0)
- R22 BATT INSULATION
- R20 BLANKET INSULATION TO TOP OF FOUNDATION
- 6mil POLY VAPOR BARRIER OVERLAPPED AND SEALED
- TYPICAL BASEMENT WALL BELOW GRADE FINISHED
  - 2" (R10) RIGID INSULATION
  - 2x4 WOOD STUDS @ 16" o.c. (CAN BE FRAMED TO U/S OF FLOOR JOIST TO ELIMINATE LEDGE)
  - R12 BATT INSULATION
  - 6mil POLY VAPOR OVERLAPPED AND SEALED
  - 1/2" GYPSUM BOARD



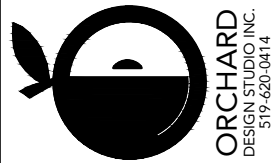
TYPICAL WOOD STUD PARTITION

- 1/2" GYPSUM BOARD
- 2x4 WOOD STUDS at 16"o.c.
- 1/2" GYPSUM BOARD
- CHANGE TO 2x6 WOOD STUDS WHERE DIMENSIONED ON PLANS



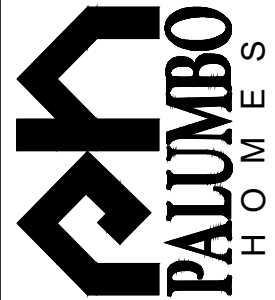
TYPICAL INTERIOR GARAGE WALL

- 1/2" GAS PROOF GYPSUM BOARD
- 2x6 WOOD STUDS at 16"o.c.
- R22 BATT INSULATION
- 1/2" GYPSUM BOARD



ORCHARD DESIGN STUDIO INC. 519-620-0414

I, Carrie McMillan, review and take responsibility for the design work on behalf of our firm Orchard Design Studio Incorporated registered under Division C, Part 3 (3.2.4) of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories. Firm BCIN: 28615 Individual BCIN: 32875  
Signed: *Carrie McMillan*



STATUS: BUILDING PERMIT	PLOTTED: 2022-01-17 3:03 PM
SCALE: 1/2"=1'-0"	DWN BY: CUCM
DATE: NOVEMBER 2021	REV.

**CRIMSON**  
**LOT 21 WELCH COURT**  
ST. THOMAS, ONTARIO  
**CONSTRUCTION SCHEDULE**

PROJECT SHEET No. **11** OF **11**

**LOT GRADING PLAN**  
of all of **LOT 21**  
**PLAN 11M-250**  
in the  
**CITY OF ST. THOMAS**  
COUNTY OF ELGIN  
Scale 1 : 300  
2021



METRIC: DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

AREA of LOT = 385.247 Sq. m.  
AREA of DWELLING = 104.683 Sq. m. (27.18 %)  
AREA of GARAGE = 38.889 Sq. m. (10.09 %)  
AREA of PARKING = 38.694 Sq. m. (10.04 %)  
LANDSCAPED OPEN SPACE = 202.981 Sq. m. (52.69 %)

EXCEEDS COVERAGE = 37.27%  
MAX. COVERAGE = 35%  
NEEDS TO BE REDUCED BY 2.27% = 8.745 sq.m.

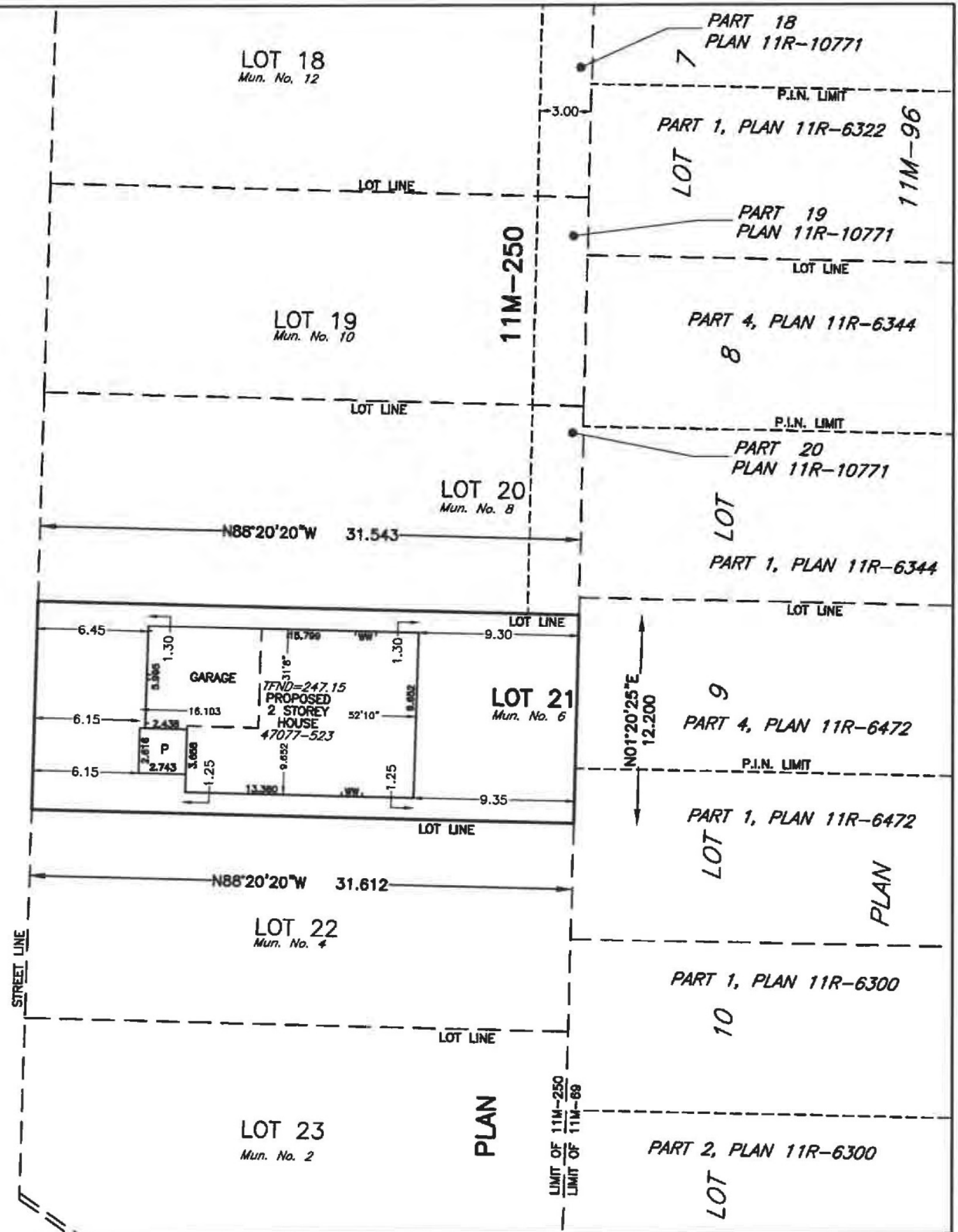


BLOCK 39  
(0.300 RESERVE)


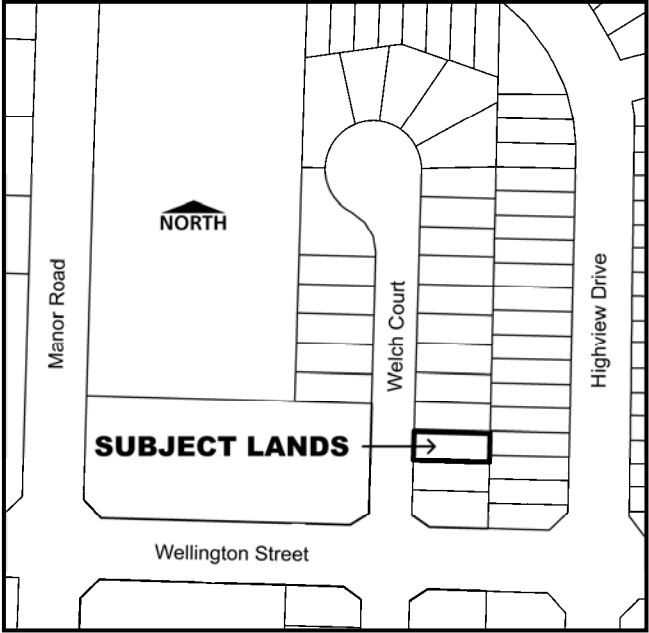
LIMIT BETWEEN 11M-67 AND 11M-  
STREET LINE

WELCH COURT  
(ESTABLISHED BY 11M-250, WIDTH VARIES)

N01°39'40"E  
12.200



123 ST. GEORGE STREET LONDON, ONTARIO, N6A 3A1 TEL: (519) 204-6510 FAX: (519) 204-6511	
Builder : PALUMBO HOMES LTD.	
Drawn By : RJC	Checked By : AS
Date : OCT. 30, 2021	MTE File No : 47077-523

 <p><b>The Corporation of the City of St. Thoma</b></p>	<p><b>Report No.:</b> COA02-2022</p>
	<p><b>Applicant:</b> Palumbo Developments Inc.</p>
<p>Members of the Committee of Adjustment</p>	<p><b>Report Date:</b> February 9, 2022  <b>Meeting Date:</b> February 24, 2022</p>
<p><b>Location:</b> 6 Welch Court, Plan 11M250, Lot 21</p>	
<p><b>Subject:</b> Request for a minor variance pursuant to 45(1) of the Planning Act, R.S.O, as amended</p>	
<p><b>Department:</b> Planning and Building Services Department  <b>Prepared by:</b> Steve Craig, Senior Planning Technician</p>	<p><b>Attachments:</b> Location Plan</p>
<p><b>Recommendation:</b></p> <p><b>That:</b> Report COA02-2022 be received.</p>	
<p><b>BACKGROUND:</b>          The applicant is proposing to construct a single detached dwelling on the subject lands, as shown on the plans accompanying the subject application.</p> <p><b>REQUESTED VARIANCE:</b>          (i) To permit a maximum lot coverage of 38%, whereas the Zoning By-law permit a maximum lot coverage of 35% (Table 1 to Subsection 7.4, Item Number 5, and Column).</p> <p><b>OFFICIAL PLAN:</b></p> <ul style="list-style-type: none"> <li>The subject lands are within the Residential designation as shown on Schedule A (Land Use Plan) to the Official Plan for the City of St. Thomas.</li> <li>The "Residential" designation means the predominant use of land shall be for low, medium, and high-density residential use (5.1.3.1).</li> </ul> <p><b>ZONING BY-LAW:</b></p> <ul style="list-style-type: none"> <li>The subject lands are within the Third Residential Zone (R3-42) pursuant to the City of St. Thomas Zoning By-Law No. 50-88, as shown on Zoning Map 18.</li> <li>Permitted uses of the R3-42 zone include a single detached dwelling and uses accessory to the foregoing (7.1(a)(q)).</li> <li>The requirements and setbacks for a single detached dwelling include (Table 1, Subsection 7.4, Column 2):              minimum lot area - 371.5m<sup>2</sup>;              minimum lot frontage - 12m;              maximum main building height - 11m;</li> </ul>	<p style="text-align: center;"><b>Location Plan</b></p> 

maximum accessory building height - 4m;  
 maximum lot coverage - 35%;  
 maximum floor area of an enclosed accessory building - the lesser of 15% of the lot area or 67m<sup>2</sup>;  
 maximum number of dwelling units - 1 per lot;  
 maximum roof area - 50%;  
 minimum front yard depth - 6m;  
 minimum rear yard depth - 9m;  
 minimum interior side yard depth - 1m;  
 minimum exterior side yard depth - 4m;  
 minimum ground floor area - 1 storey dwelling 74m<sup>2</sup>; and  
 minimum number of parking spaces - 1 parking space per dwelling unit.

- Lot coverage means the combined area of all buildings or structures on a lot measured at the level of the lowest floor above grade in relation to the area of the lot expressed as a percentage and includes the area of any of the following which have a roof and are enclosed on all sides: a porch, breezeway, pool, patio, deck or carport but excludes the area of any steps, cornices, eaves, bay windows, chimney breasts, corbelling and similar projections and also excludes the area of any terrace, patio, pool or deck, porch, breezeway or carport which are not enclosed on all sides (1.68).

#### **LEGISLATIVE FRAMEWORK FOR A MINOR VARIANCE:**

In considering this application, the Committee must have regard to the following criteria and determine whether:

- The general intent and purpose of the Official Plan will be maintained;
- The general intent and purpose of the Zoning By-Law will be maintained;
- The variance is desirable for the appropriate development or use of the land, building or structure; and
- The variance is minor in nature.

#### **COMMENTS:**

- The applicant is proposing to construct a single detached dwelling on the subject lands, aside from a 3% (8.7sqm) increase in lot coverage the proposed development of the lot conforms with the City of St. Thomas Zoning By-law.
- In Staff's opinion the proposed variance meets the general intent and purpose of the Official Plan, Zoning By-law, is minor in nature, and is desirable and appropriate for the use of the lands, thereby satisfying the four tests, as set out in Section 45 of the Planning Act. Therefore, planning staff recommend that minor variance application COA02-2022 be approved.
- Should the Committee of Adjustment approve Minor Variance Application COA02-2022, the decision should reflect that the Committee is approving a maximum lot coverage of 38%.

Respectfully submitted,



Steve Craig  
Senior Planning

## CONFIRMATION OF AN APPLICATION FOR MINOR VARIANCE

---

January 21, 2022

Secretary-Treasurer, Committee of Adjustment  
Attention: Jon Hindley

Pursuant to By-Law 30-2015, a consultation meeting was held on December 21, 2021 with Planning staff and the applicant.

An application for a Minor Variance, regarding 14 Welch Court, was filed on January 19, 2022 and the required fee under Section 69 of the Planning Act has been provided.

Please contact the Planning & Building Services Department if you have any questions.

Regards,



Jim McCoomb, MCIP, RPP  
Manager of Planning Services







**Sent via email**

January 19, 2022

Jon Hindley  
Secretary-Treasurer  
Committee of Adjustment  
City Clerk's Department  
City of St. Thomas  
545 Talbot Street  
St. Thomas, ON  
N5P 3V7  
[jhindley@stthomas.ca](mailto:jhindley@stthomas.ca)

Dear Mr. Hindley:

**RE: Applications for Minor Variance  
Palumbo Developments Inc.  
6 & 14 Welch Court  
St. Thomas, ON  
Our File: PLB/STH/20-01**

---

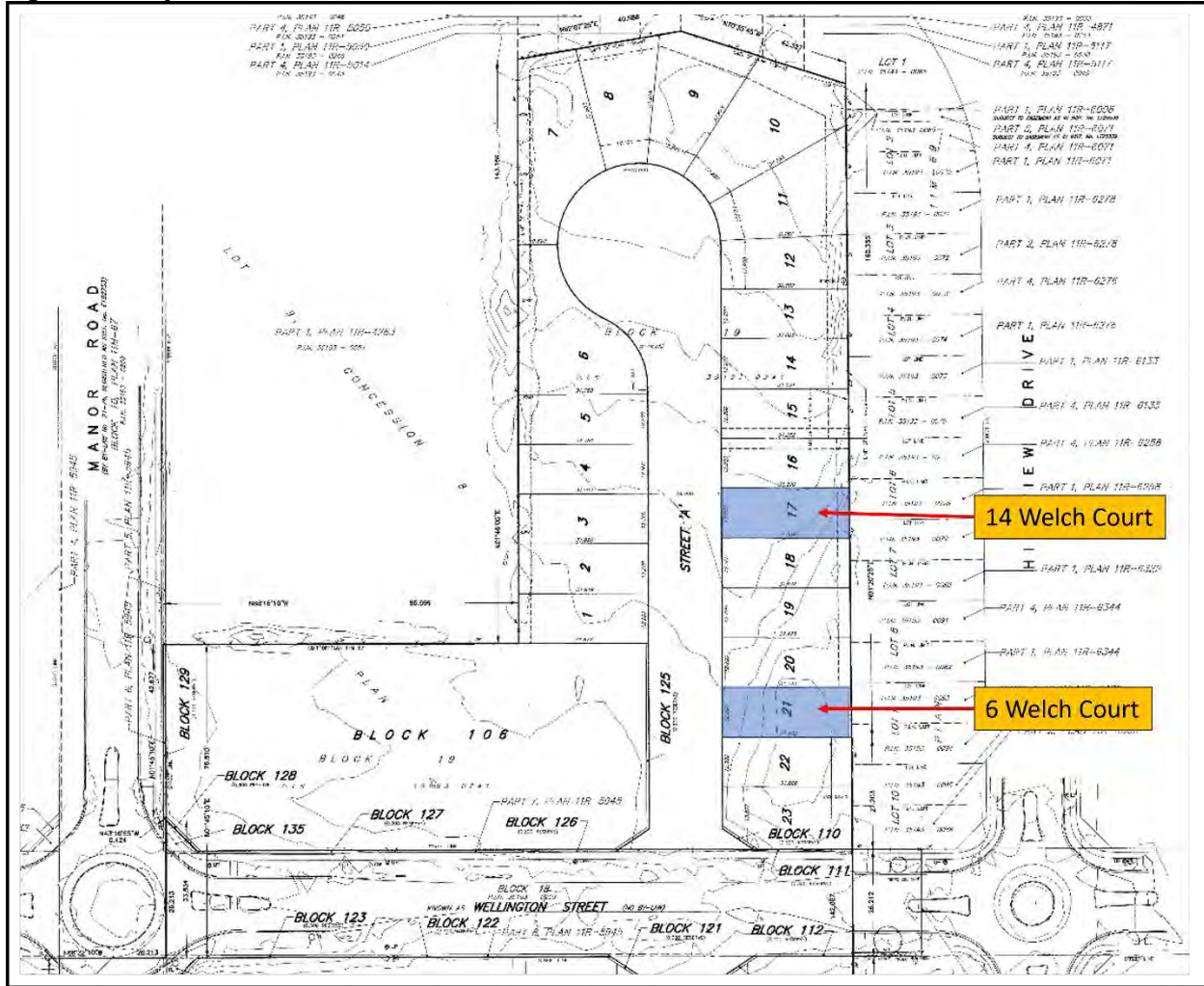
Zelinka Priamo Ltd., on behalf of Palumbo Developments Inc. ("Palumbo"), is pleased to submit an application for Minor Variance as it relates to the above noted properties (the "subject lands").

The subject lands were created by Plan of Subdivision (City File No. 34T-18502) and are described legally as follows:

- 6 Welch Court: Lot 21, Plan 11M-250
- 14 Welch Court: Lot 17, Plan 11M-250

Palumbo is the current owner of the subject lands, which form part of the Manorwood Subdivision, generally located at the east end of the City of St. Thomas, on both sides of Wellington Street between Manor Road and Highview Drive. More specifically, the subject lands are located on the east side of Welch Court, which extends north from Wellington Street (see Figure 1). Welch Court has been recently constructed with full municipal services and is capable of accommodating development. The subject lands are currently vacant, and each property is intended to be developed for residential (single detached dwelling) purposes.

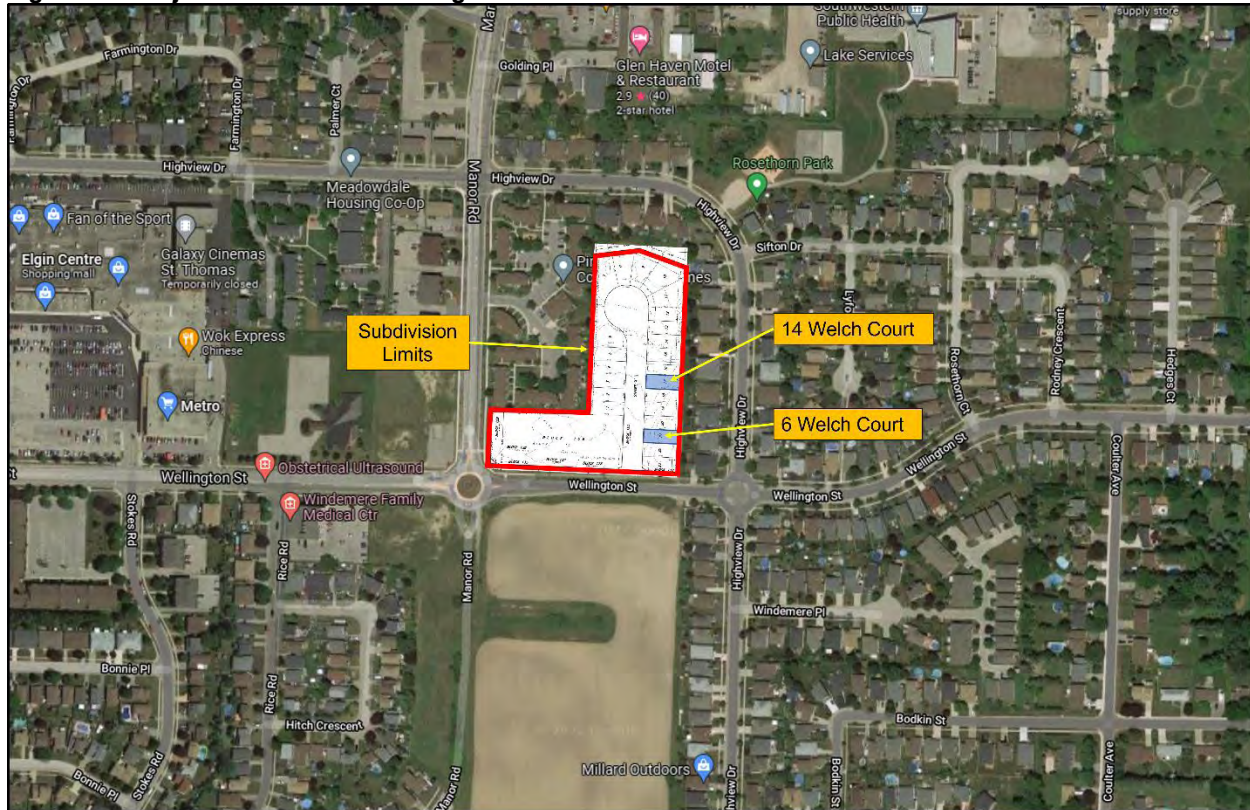
Figure 1 – Subject Lands



The surrounding area consists of low density residential development (single-detached, semi-detached) to the immediate north, east, and south of the subject lands; multi-family residential (mid-rise apartments, townhouses) to the west; commercial (Elgin Centre Shopping Mall, Metro Grocery Store), institutional (St. Thomas Christian Church), medical facilities (Windemere Family Medical Centre) further to the west along Wellington Street; and open space/recreational (Optimist Park) to the southwest. Transit services are readily available and within walking distance to the subject lands via Route 2 (Elgin Mall Route), which runs along Wellington Street (see Figure 2).



**Figure 2 – Subject Lands & Surrounding Area**



The subject lands are within the “Residential” land use designation in the City of St. Thomas Official Plan; and are currently zoned “Third Residential-Special Zone (R3-42)” in the City of St. Thomas Zoning By-Law. The Residential designation permits and encourages low, medium, and high-density residential uses in various building forms; and the R3-42 Zone permits only single detached dwellings, semi-detached dwellings, home occupations, and accessory uses.

The proposed development on each of the properties would consist of a 2-storey single detached dwelling with attached garage, together with associated outdoor amenity space. Lot grading/site plans and detailed plans are attached showing the proposed building footprint and building design for each property.

However, in order to permit the proposed developments, the following variance to the Zoning By-Law is required for each property:

- Relief from Subsection 7.4, Table 1, Column (1), Column (1), Item 5 to permit a maximum lot coverage 38% for a single detached dwelling, whereas a maximum lot coverage of 35% is permitted.

As shown on the attached plans, the proposed lot coverage for 6 Welch Court is 37.27%; and the proposed lot coverage for 14 Welch Court is 37.59%.

### **Minor Variance Tests & Analysis**

To assess the merit of an application for Minor Variance, the four tests for Minor Variance under the Planning Act are applied. An overview of the four tests is as follows:

#### **Does the proposed variance maintain the intent and purpose of the Official Plan?**

The Residential designation within the Official Plan permits all forms of residential development (low density, medium density, and high density), allocating residential intensity based on locational criteria. Low density residential uses are considered having a maximum of 25 units per hectare; medium density residential between 25 and 75 units per hectare; and high density residential exceeding 75 units per hectare. The subject lands are within a low-density residential area along Welch Court; and the proposed form of housing on the subject lands consists of single detached dwellings, which falls within the low density residential (single- and semi-detached) category.

The proposed increase in lot coverage for both properties does not alter the intent of the Official Plan as it relates to the subject lands; the intended use of the subject lands is for single detached dwellings, consistent with the low-density residential policies of the Official Plan.

As such, the proposed variance to increase the maximum lot coverage for both properties maintain the intent and purpose of the current Official Plan.

#### **Does the proposed variance maintain the intent and purpose of the Zoning By-Law?**

As previously noted, the subject lands are zoned R3-42, which permits the proposed use consisting of a single detached dwelling on both properties.

The proposed variance to increase the maximum lot coverage will allow for a wider range of building designs and sizes available within the subdivision to address the needs of potential homeowners.

Other than the requested variance, the proposed development on both properties complies with all other provisions of the Zoning By-law. As such, the requested variance is consistent with the intent and purpose of the Zoning By-Law.

**Is the proposed variances minor in nature?**

The proposed variance to increase the maximum lot coverage for a single detached dwelling in this instance is minor considering that the slightly increased building footprint does not create any other deficiencies within the Zoning By-law, particularly with respect to minimum setback requirements from abutting properties, thus ensuring that adequate separation and privacy is provided between the proposed structures and adjacent structures and outdoor amenity spaces.

**Is the proposed variance desirable for the appropriate use of subject lands?**

The proposed variance is desirable as the slight increase in lot coverage does not create any issues or other zoning deficiencies that could have an undesirable impact on abutting properties. Larger single detached dwellings on only two of the properties within the subdivision will provide a wider choice of building design and sizes available to future homeowners, without changing the original intended use for the subject lands (single detached dwelling), consistent with the policies of the Official Plan, the provisions of the Zoning By-law, and the conditions of Draft Plan of Subdivision Approval.

The requested variance will not result in unacceptable adverse effects on adjacent properties and, as such, is desirable for the appropriate use of the subject lands.

As demonstrated above, the requested variance to increase the maximum lot coverage for single detached dwellings satisfies the four tests for a Minor Variance as it maintains the intent and purpose of the Official Plan and the Zoning By-Law, is minor in nature, and is desirable for the appropriate use of the subject lands.

**Provincial Policy Statement (2020)**

In addition to the above tests, the proposed minor variance is consistent with the following policies in the 2020 Provincial Policy Statement:

- 1.1.1 a), b); 1.1.3.1; 1.1.3.2 a); 1.1.3.4; 1.4.3 b), f)

The proposed development on each property consisting of a 2-storey single detached dwelling on lands that are suitable for the proposed use:

- represents an efficient development and land use pattern that will sustain the well-being of the Municipality (1.1.1 a));
- will enhance the range and mix of housing opportunities available to all age groups and income levels within the Community (1.1.1 b));
- takes place within a settlement area (St. Thomas), and will make efficient use of existing infrastructure (1.1.3.1 & 1.1.3.2 a));

- promotes appropriate development standards which facilitate intensification, redevelopment, and compact form with no risks to public health or safety (1.1.3.4);
- facilitates and provides a wider range of housing options, through residential intensification and redevelopment, for current and future residents (1.4.3 b); and
- establishes appropriate development standards for residential intensification, redevelopment and new residential development which minimizes the cost of housing and facilitates compact form, while maintaining appropriate levels of public health and safety (1.4.3 f)).

In conclusion, it is our opinion that the proposed minor variance is appropriate, represents sound land use principles, and will not create unacceptable adverse impacts on surrounding uses.

As per the submission requirements for a Minor Variance application, please find the following materials enclosed in support of the application:

- One (1) copy of the completed application form and declarations for each property;
- Two (2) cheques, each made payable to the “City of St. Thomas” in the amount of \$400.00;
- Lot Grading/Site Plan – 6 Welch Court; and
- Lot Grading/Site Plan – 14 Welch Court.

We trust that the enclosed information is complete and satisfactory and look forward to a timely approval process. Should you have any questions or require additional information, please feel free to contact our office.

Yours very truly,

**ZELINKA PRIAMO LTD.**



Harry Froussios, BA, MCIP, RPP  
Senior Associate

cc. Marco Palumbo – Palumbo Developments Inc.



Clear Form

## CORPORATION OF THE CITY OF ST THOMAS

## COMMITTEE OF ADJUSTMENT

## APPLICATION FOR MINOR VARIANCE OR FOR PERMISSION

(Section 45 of the Planning Act, RSO, 1990, as amended)

<b>OFFICE USE:</b>	Date Application Received: <u>January 19, 22</u>	Consultation Date: <u>December 21/21</u>
	Date Application Deemed Complete: <u>January 20/22</u>	

Application #: \_\_\_\_\_

APPLICATION IS HEREBY MADE TO:

City of St. Thomas  
 545 Talbot Street  
 St. Thomas ON N5P 3V7  
 Tel: (519) 631-1680 ext 4125 Fax: (519) 633-9019  
 Email: [jhindley@stthomas.ca](mailto:jhindley@stthomas.ca)

Please note that in accordance with By-Law 30-2015, consultation with the Planning and Building Services Department must take place prior to the submission of an application. After consultation, the application will be filed with the Assistant Secretary-Treasurer, together with the sketch referred to in Note 1 and \$400 made payable to the City of St. Thomas. All information and materials submitted for the applications shall be made available to the public, as indicated by Section 1.0.1 of the Planning Act, R.S.O. 1990.

Personal information contained on this form is collected under the authority of the Planning Act, R.S.O. 1990, as amended, and Ontario Regulation 200/96 and will be used for the purpose of processing this application.

1. Name of Owner(s) Palumbo Developments Inc.Address 1055 Sarnia Road, Unit B3, London ONPostal Code N6H 5J9 Tel: 519-439-4142 e-mail: marco@palumbohomes.ca2. Name of Authorized Agent (if any) Zelinka Priamo Ltd.(Harry Froussios)Address 318 Wellington Road, London ONPostal Code N6C 4P4 Tel: 519-474-7137 e-mail: harry.f@zpplan.comNote: Please specify to whom all communications should be sent: Owner  Agent 

3. Nature and extent of relief from the Zoning By-law applied for:

To request relief from Subsection 7.4, Table 1, Column (1), Item 5, to permit a maximum lot coverage of 38% for a single detached dwelling, whereas a minimum of 35% is required.

4. Reason why the proposed use cannot comply with the provisions of the Zoning By-law:

The proposed development has a lot coverage of 37.59 %.

5. Location of Land:

Concession No. \_\_\_\_\_ Lot(s) \_\_\_\_\_ Registered Plan No. 11M -250 Lot(s) 17

Reference Plan No. \_\_\_\_\_ Part(s) \_\_\_\_\_

Geographic/Former Township City of St. Thomas

Name of Street Welch Court Street No. 14

6. Dimensions of land affected:

Frontage 12.20 m Depth 31.339 m

Area 381.981 sq m Width of Street \_\_\_\_\_

7. Access to the subject land is by:

- a Regional Road  a private road  
 a Municipal road that is maintained all year  
 a Municipal road that is maintained seasonally

8. Particulars of all buildings and structures on or proposed for the subject land (Specify ground floor area, gross floor area, number of storeys, width, length, height). Please specify use of existing structures.

Existing:

Vacant

USE Residential (single detached dwelling)

Proposed:

Gross Floor Area - 143.569 sq m; No. of Storeys - 2 (see also attached Plan)

9. Location of all buildings and structures on or proposed for the subject land (Specify distance from side, rear and front lot lines). Please specify use of proposed structure.

Existing:

Vacant

Proposed:

Single-detached dwelling (see attached Plan)

USE \_\_\_\_\_

10. Date of acquisition of subject land: December 2021

11. Date of construction of all buildings and structures on subject land: March 2022

12. Existing uses of the subject land:

Vacant (future residential)



13. Existing uses of abutting lands:

North: Residential \_\_\_\_\_ East: Residential \_\_\_\_\_

South: Residential \_\_\_\_\_ West: Residential \_\_\_\_\_

14. Length of time the existing uses of the subject land have continued:

varies \_\_\_\_\_

15. Services available (check appropriate space or spaces):

Water:

Municipally owned and operated piped water system Other (Specify) \_\_\_\_\_

Sewage Disposal:

Municipally owned and operated sanitary sewer system Other (Specify) \_\_\_\_\_

Storm Drainage

Storm sewers Other (Specify) \_\_\_\_\_

16. Present Official Plan designation of the subject land:

Residential \_\_\_\_\_

17. Present Zoning of the subject land:

Third Residential-Special Zone (R3-42) \_\_\_\_\_

18. Has the owner previously applied for relief (minor variance) under Section 45 of the Act in respect of the subject property?

yes  no

If the answer is yes, describe briefly (and if known, quote Application #)

\_\_\_\_\_

19. Is the subject property the subject of a current application for a consent under Section 53 or a plan of subdivision under Section 51 of the Planning Act, 1990?

yes  no  If so, state Application # and status \_\_\_\_\_



**APPLICANT DECLARATION**

By making this application, permission is hereby granted to any Municipal staff members and Municipal Planning Consultant to enter upon the premises described in this application at a reasonable time for the purpose of inspecting the property in relation to the proposed application and for distributing information concerning the same. This information is being collected pursuant to the Planning Act, Municipal Act, and Freedom of Information Act. The information contained herein will be distributed to bodies and agencies prescribed by legislation and regulation and also to interested parties.

If this application is signed by an agent or solicitor on behalf of an applicant, the owner's written authorization must accompany the application (**Appendix A**). If the applicant is a corporation acting without an agent or solicitor, the application must be signed by an officer of the corporation and the corporation's seal (if any) must be affixed.

**MUNICIPAL FREEDOM OF INFORMATION AND PROTECTION OF PRIVACY ACT**

Application information is collected under the authority of the Planning Act, R.S.O. 1990, c.P.13. In accordance with that Act, it is the policy of the City of St. Thomas to provide public access to all Planning Act applications and supporting documentation submitted to the City.

I, Harry Froussios, the Owner or Authorized Agent, hereby agree and acknowledge (*Print name of Owner or Authorized Agent*) that the information contained in this application and any documentation, including reports, studies and drawings, provided in support of the application, by myself, my agents, consultants and solicitors, constitutes public information and will become part of the public record. As such, and in accordance with the provisions of the *Municipal Freedom of Information and Protection of Privacy Act*, R.S.O. 1990, c.M. 56, I hereby consent to the City of St. Thomas making this application and its supporting documentation available to the general public, including copying and disclosing the application and its supporting documentation to any third party upon their request.

**Collection of Personal Information:**

Personal information on this form is collected under the authority of Section 41 of the *Planning Act*, R.S.O. 1990 and Sections 8 (1) and 10 of the *Municipal Act*, 2001, as amended, and will be used to contact the owner, applicant and/or agent regarding the Committee of Adjustment Application. Questions about this collection should be directed to the City Clerk, 545 Talbot Street, St. Thomas, Ontario, N5P 2T9 (519) 631-1680.

**AFFIDAVIT OR SWORN DECLARATION**

I, Harry Froussios of London in the province of Ontario,  
name of applicant City

make oath and say (or solemnly declare) that the information required under Schedule 1 of Ontario Regulation 545/06 and provided by the applicant in this application is accurate, and that the information contained in the documents that accompany this application is accurate.

Sworn (or declared) before me at the London on this 19th day of January, 2022.  
City Day Month Year

Signature of Owner or Authorized Agent

January 19, 2022

Date

Signature of Commissioner of Oaths, etc.

January 19, 2022

Date

DAVID JOHN HANNAM, a Commissioner, etc.,  
Province of Ontario, for Zelinka Priamo Ltd.  
Expires September 21, 2024.

**APPENDIX A – AUTHORIZATION OF OWNER**

If the applicant is not the owner of the subject lands, please complete the owner authorization concerning personal information as set out below.

I, See Attached Authorization, am the owner of the subject lands, and I authorize \_\_\_\_\_, to act on our behalf as the agent for the submissions required for all matters relating to the subject lands, and to provide any of my personal information that will be included in this application or collected during the planning process.

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature of Owner

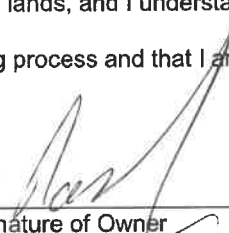
**APPENDIX B – ACKNOWLEDGEMENT OF LEGAL AND PLANNING FEES**

In addition to the application fees listed in this application package, please note that where the City requires assistance from its solicitors or other technical or professional consultants in the processing of this application, the applicant shall be responsible for reimbursing all fees incurred by the City.

**\*Please note, Appendix B must be completed by the owner, not the authorized agent.**

I, Palumbo Developments Inc., am the **owner** of the subject lands, and I understand that further fees may be incurred by the City throughout the planning process and that I am responsible for reimbursing all fees.

January 19, 2022  
Date

  
Signature of Owner

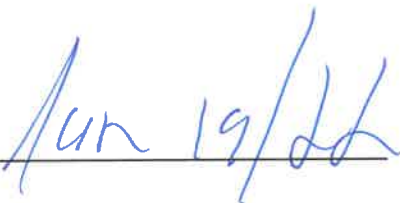
**AUTHORIZATION AS AGENT**

TO WHOM IT MAY CONCERN:

I/we hereby authorize Zelinka Priamo Ltd., to act as our agent in connection with all required planning approvals associated with the lands legally described as Lot 17, Plan 11M-250 (14 Welch Court). and Lot 21, Plan 11M-250 (6 Welch Court), in the City of St. Thomas.

Palumbo Developments Inc.

  
\_\_\_\_\_  
Authorized Signature

  
\_\_\_\_\_  
Date

**NOTES:**

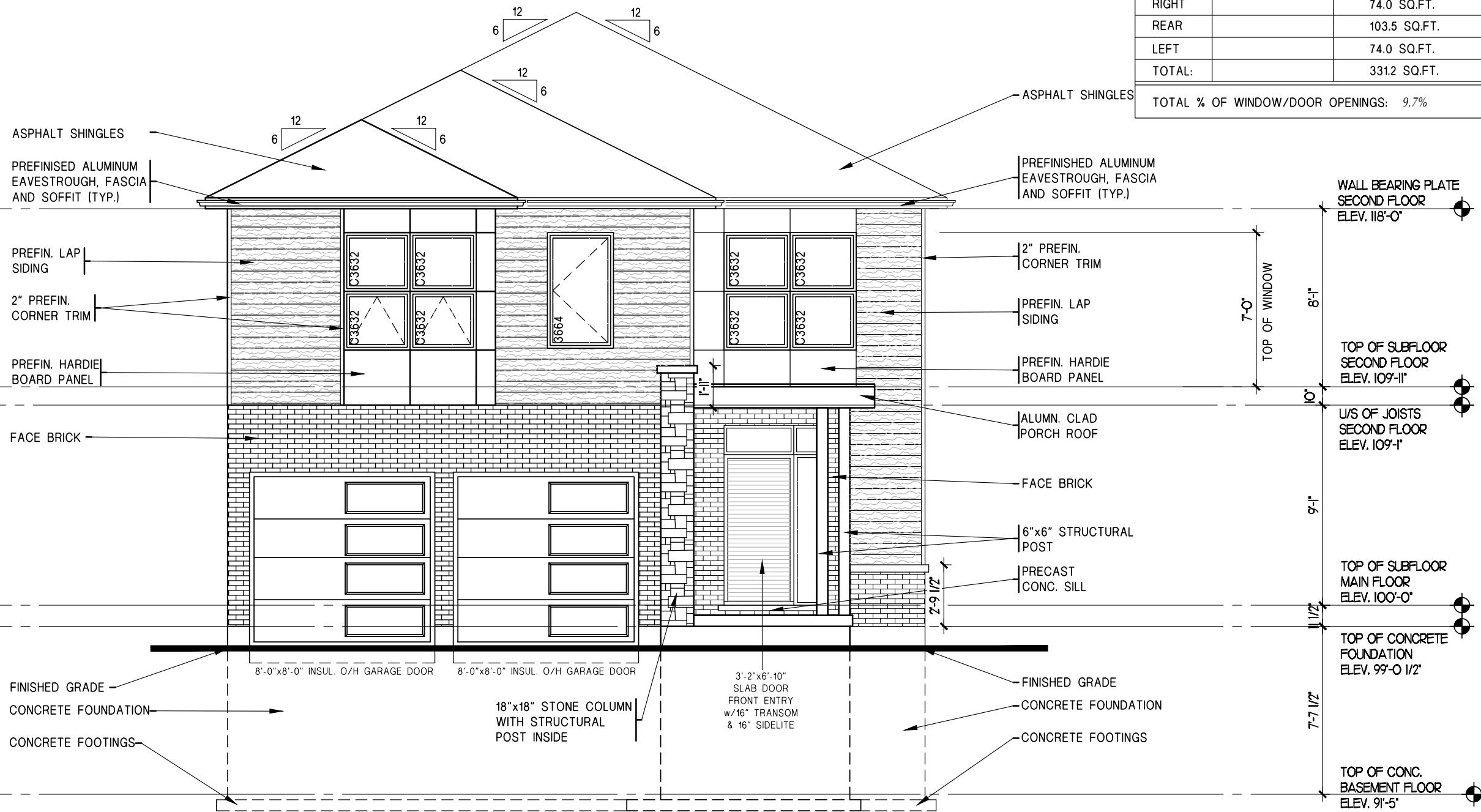
1. Each copy of this application must be accompanied by a Sketch. The Sketch need not necessarily be to scale, but dimensions must be accurate, and showing the following:
  - (a) The boundaries and dimensions of the subject land;
  - (b) The location, size and type of all existing and proposed buildings and structures on the subject land, indicating the distance of the buildings or structures from the front yard lot line, rear yard lot line and the side yard lot lines;
  - (c) The approximate location of all natural and artificial features on the subject land and on land that is adjacent to the subject land that, in the opinion of the applicant, may affect the application. Examples include buildings, driveways, swimming pools, roads, railways, drainage ditches, wells, septic tank and tile bed, and trees;
  - (d) The current uses on land that is adjacent to the subject land;
  - (e) The location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public traveled road, a private road or a right-of-way;
  - (f) If access to the subject land is by water only, the location of the parking and docking facilities to be used;
  - (g) The location and nature of any restrictive covenant or easement affecting the subject land;
2. The Committee of Adjustment may require that a preliminary drawing be prepared, signed and dated by an Ontario Land Surveyor.
3. If this application is signed by an agent or solicitor on behalf of an applicant, the owner's written authorization must accompany the application. If the applicant is a corporation acting without agent or solicitor, the application must be signed by an officer of the corporation and the corporation's seal (if any) must be affixed.

**PERFORMANCE PACKAGE A1**

IN ACCORDANCE WITH SB-12 TABLE 3.11.2 (IP)  
OF THE 2012 ONTARIO BUILDING CODE

ELEVATION	TOTAL AREA OF EXPOSED BUILDING FACE	PROPOSED TOTAL WINDOW/DOOR OPENING (EXCLUDING FRONT ENTRY)
FRONT		79.7 SQ.FT.
RIGHT		74.0 SQ.FT.
REAR		103.5 SQ.FT.
LEFT		74.0 SQ.FT.
TOTAL:		331.2 SQ.FT.

TOTAL % OF WINDOW/DOOR OPENINGS: 9.7%



**FLAT ENTRY ROOF / TERRACE NOTE:**

PROVIDE SLOPED ROOF TO SIDE SCUPPER DRAIN. INSTALL GLUE DOWN SINGLE PLY NON-SLIP MEMBRANE ON 5/8" T&G PLYWOOD ON SLOPED 2x6 FLOOR JOISTS. WRAP MEMBRANE UP AND OVER PARAPET WALL UNDER PREFIN. ALUM CAP. INSTALL MEMBRANE UNDER SIDING 12" MIN., FASTEN TO SHEATHING AND SEAL.

NOTE: PROVIDE GUARDS (CONFORMING TO DIVISION B, PART 9.8.8 OF THE 2012 ONTARIO BUILDING CODE AND SB-7 TYPE GUARDS FOR HOUSING AND SMALL BUILDINGS) AT PORCH WHERE DISTANCE FROM PORCH TO GRADE IS 2'-0" OR GREATER.

NOTE: FOR WALK-OUT & PART WALK-OUT LOTS STEP CONC. FOUNDATION AS REQ'D FOR PROPOSED GRADES ENSURING A MAX. OF 4'-0" OF LATERALLY UNSUPPORTED WALL

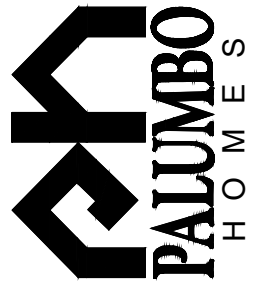
NOTE: WINDOW SIZES SHOWN ARE APPROXIMATE. EXACT ROUGH OPENINGS TO BE DETERMINED BY WINDOW MANUFACTURERS SPECIFICATIONS.

NOTE: WHERE PATIO/TERRACE DOOR THRESHOLD IS GREATER THAN 2'-0" ABOVE FINISHED GRADE, PROVIDE SB-7 GUARD OR PROVIDE BLOCKING TO PREVENT DOOR FROM OPENING MORE THAN 4".



ORCHARD DESIGN STUDIO INC.  
517-920-0414

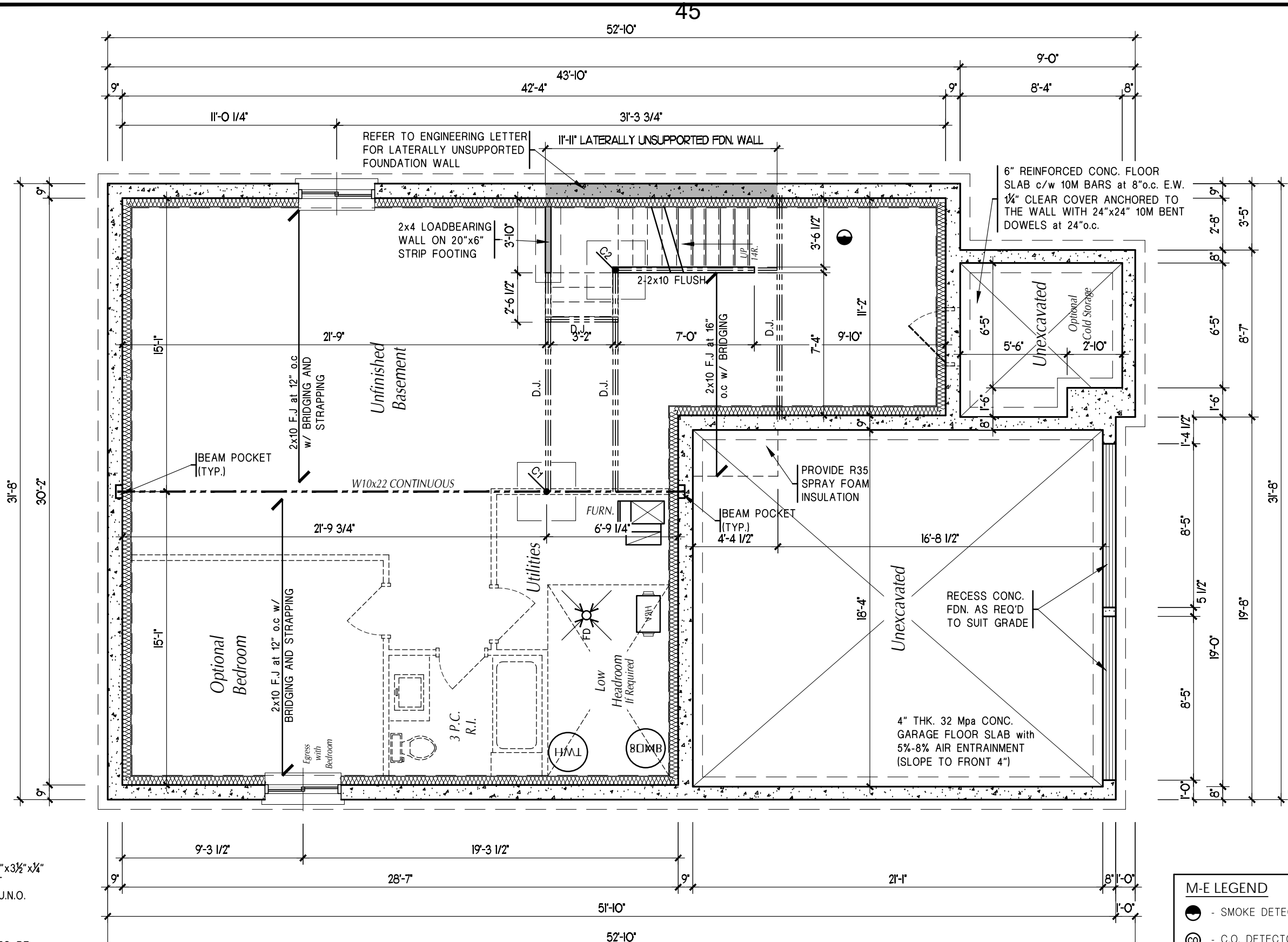
I, Garcia, McMillan review and take responsibility for the design work on behalf of our firm Orchard Design Studio Incorporated registered under Division C, Part 3 (3.2.4) of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.  
Firm BCIN: 28615  
Individual BCIN: 32875  
Signed: \_\_\_\_\_



STATUS: BUILDING PERMIT  
PLOTTED: 2022-01-17 3:07 PM  
SCALE: 3/16"=1'-0"  
DWN BY: C/C/M  
DATE: JANUARY 2022  
REV. \_\_\_\_\_

PROJECT  
**THE CRIMSON - 2708 SQ.FT.**  
**LOT 17 WELCH COURT**  
ST. THOMAS, ONTARIO  
TITLE  
**FRONT ELEVATION**

SHEET No.  
**1 OF 11**



**LINTEL NOTE:**  
 PROVIDE 2-2x10 + L3 1/2"x3 1/2"x4"  
 ABOVE ALL BASEMENT  
 EXTERIOR WINDOWS, U.N.O.

**FOOTING NOTES:**  
 ALL STRIP FOOTINGS TO BE  
 20"x6" UNLESS NOTED OTHERWISE

**NOTE:**  
 PROVIDE BUILT-UP WOOD STUD  
 POST EQUAL TO STUD DEPTH x  
 WIDTH OF BEAM, AT BOTH ENDS  
 OF STEEL OR WOOD BEAMS  
 UNLESS NOTED OTHERWISE.

**STAIR NOTES:**  
 STAIR RUN = 9"  
 PROVIDE SOLID WOOD BLOCKING,  
 AS REQ'D, AROUND STAIRWELL  
 WALLS FOR FUTURE RAILING  
 ATTACHMENT

**NOTE RE SPECIFICATIONS:**  
 FOR STANDARD FOUNDATION  
 AND FRAMING NOTES, CODE  
 REQUIREMENTS AND TYPICAL  
 CONSTRUCTION ASSEMBLIES  
 REFER TO SHEETS AT END OF  
 PACKAGE

**FRAMING NOTES:**  
 ALL INTERIOR STUD WALLS  
 TO BE 2x4, U.N.O.  
  
 PROVIDE DOUBLE JOIST  
 FRAMING UNDER ALL  
 PARALLEL WALLS ABOVE

**NOTE:**  
 SUMP PUMP/PIT SHALL BE  
 INSTALLED AND CONNECTED  
 TO THE STORM SEWER.  
 CONTACT THE DEPARTMENT  
 OF PUBLIC WORKS FOR  
 VERIFICATION OF LOCATION

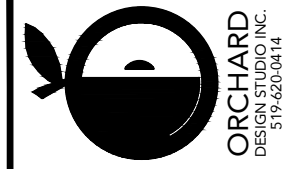
**COLUMN SCHEDULE**

C1  
 3"x3"x3/16" STEEL COLUMN (18,500  
 lb.) (ON 42"x42"x20"dp. CONC. FTG.,  
 WHERE SHOWN)

C2  
 4-PLY BUILT-UP WD. POST  
 (ON 26"x26"x10"dp. CONC. FTG.,  
 WHERE SHOWN)

**M-E LEGEND**

- - SMOKE DETECTOR
- ⊙ - C.O. DETECTOR
- ⊙ - CEILING MOUNTED EXHAUST FAN (ALL BATHROOMS AND WATER CLOSET ROOMS TO BE MECHANICALLY VENTED) NOTE: VENTILATION TO BE DETERMINED IN CONFORMITY TO O.B.C. (932) BY MECHANICAL CONTRACTOR



I. Garcia, McMillan review and take responsibility for the design work on behalf of our firm Orchard Design Studio Incorporated registered under Division C, Part 3 (3.2.4) of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories. Firm BCIN: 28615 Individual BCIN: 32875 Signed:



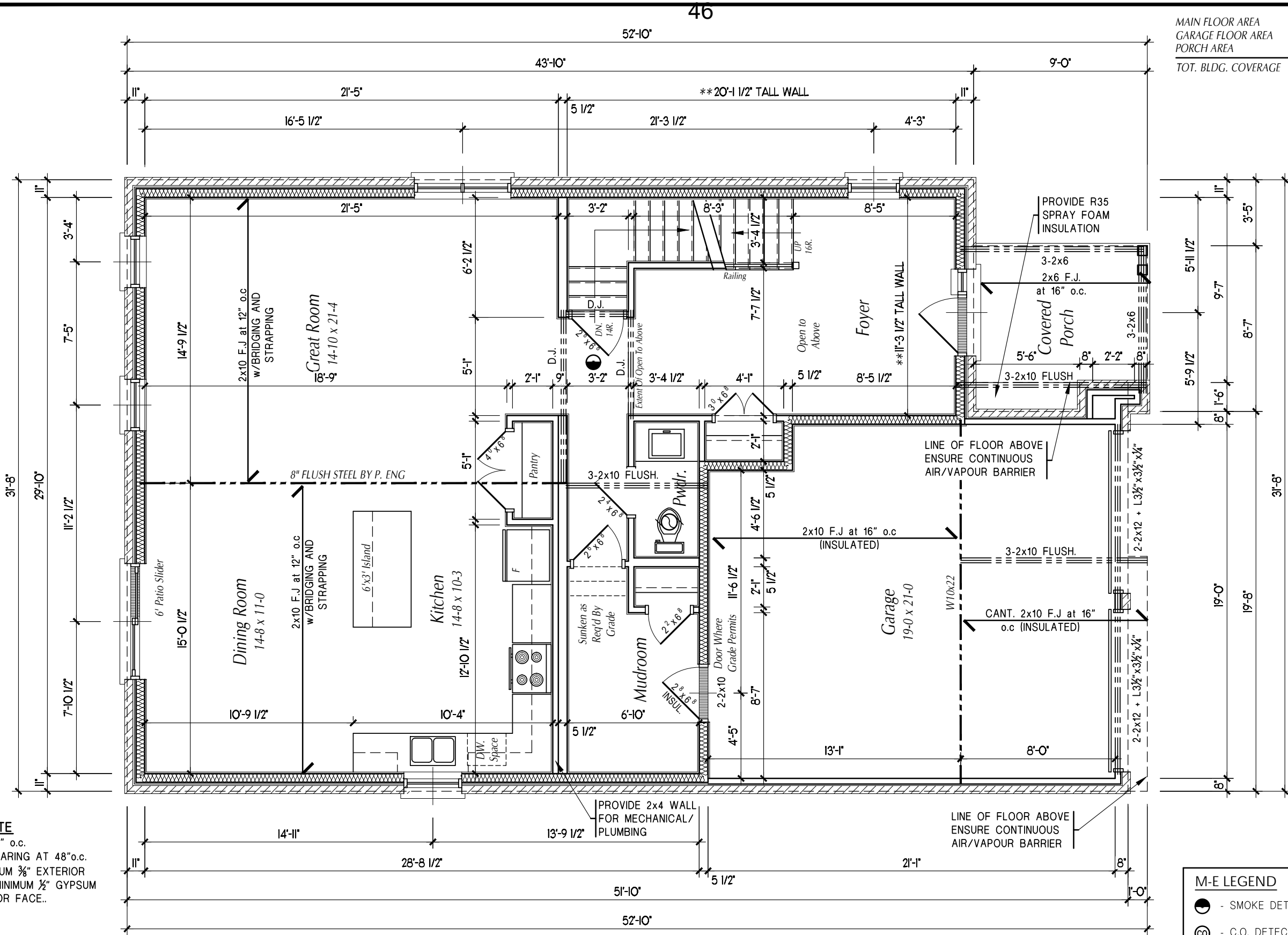
STATUS: BUILDING PERMIT
PLOTTED: 2022-01-17 3:07 PM
SCALE: 3/16"=1'-0"
DWN BY: C/JCM
DATE: JANUARY 2022
REV.

**PROJECT**  
**THE CRIMSON - 2708 SQ.FT.**  
**LOT 17 WELCH COURT**  
 ST. THOMAS, ONTARIO

**TITLE**  
**BASEMENT FLOOR PLAN**

SHEET No. **2** OF **11**

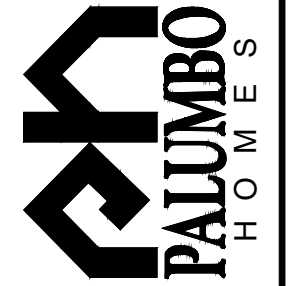




MAIN FLOOR AREA	- 1138 sq.ft.
GARAGE FLOOR AREA	- 408 sq.ft.
PORCH AREA	- 78 sq.ft.
TOT. BLDG. COVERAGE	- 1624 sq.ft.



I. Garcia, McMillan take responsibility for the design work on behalf of our firm Orchard Design Studio Incorporated registered under Division C, Part 3 (3.2.4) of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories. Firm BCIN: 28615 Individual BCIN: 32875



STATUS: BUILDING PERMIT	2022-01-17 3:07 PM
PLOTTED:	3/16"=1'-0"
SCALE:	DWN BY: C/CM
DWN BY:	DATE: JANUARY 2022
DATE:	REV.

**PROJECT**  
**THE CRIMSON - 2708 SQ.FT.**  
**LOT 17 WELCH COURT**  
 ST. THOMAS, ONTARIO

**TITLE**  
**MAIN FLOOR PLAN**

SHEET No. **3** OF **11**

**\*\*TALL WALL NOTE**  
 2-2x6 STUDS at 12" o.c.  
 PROVIDE SOLID BEARING AT 48" o.c.  
 VERTICALLY, MINIMUM 3/8" EXTERIOR SHEATHING, AND MINIMUM 1/2" GYPSUM BOARD ON INTERIOR FACE..

**FRAMING NOTES:**  
 ALL INTERIOR STUD WALLS TO BE 2x4, U.N.O.  
 PROVIDE DOUBLE JOIST FRAMING UNDER ALL PARALLEL WALLS ABOVE AND AROUND STAIRS  
 ALL LINTELS AND BEAMS TO BE DROPPED UNLESS NOTED OTHERWISE

**NOTE:**  
 PROVIDE BUILT-UP WOOD STUD POST EQUAL TO STUD DEPTH x WIDTH OF BEAM, AT BOTH ENDS OF STEEL or WOOD BEAMS UNLESS NOTED OTHERWISE.

**LINTEL NOTE:**  
 PROVIDE 2-2x10 + L3 1/2" x 3 1/2" x 1/4" ABOVE ALL MAIN FLOOR EXTERIOR DOORS AND WINDOWS, U.N.O.

**HANDRAIL NOTE:**  
 PROVIDE CONTINUOUS HANDRAIL THROUGHOUT THE LENGTH OF STAIR AS PER 9.8.7.2 OF THE O.B.C 2012

**INTERIOR GARAGE DOOR NOTE:**  
 ENSURE GARAGE DOOR TO DWELLING UNIT IS GAS PROOFED AND HAS A SELF CLOSURE.

**NOTE:**  
 SOLID FILLED WALLS INDICATE INTERIOR LOAD BEARING WALL

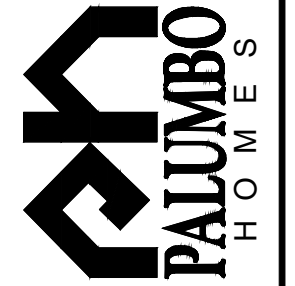
**M-E LEGEND**

- - SMOKE DETECTOR
- ⊙ - C.O. DETECTOR
- ⊙ - CEILING MOUNTED EXHAUST FAN (ALL BATHROOMS AND WATER CLOSET ROOMS TO BE MECHANICALLY VENTED) NOTE: VENTILATION TO BE DETERMINED IN CONFORMITY TO O.B.C. (932) BY MECHANICAL CONTRACTOR

FIN. BASEMENT AREA	- 000 sq.ft.
MAIN FLOOR AREA	- 1138 sq.ft.
SECOND FLOOR AREA	- 1570 sq.ft.
TOTAL FINISHED AREA	- 2708 sq.ft.
INCLUDES 187 SQ.FT. OPEN TO BELOW	



I. Garcia, McMillan review and take responsibility for the design work on behalf of our firm Orchard Design Studio Incorporated registered under Division C, Part 3 (3.2.4) of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories. Firm BCIN: 28615 Individual BCIN: 32875 Signed: \_\_\_\_\_



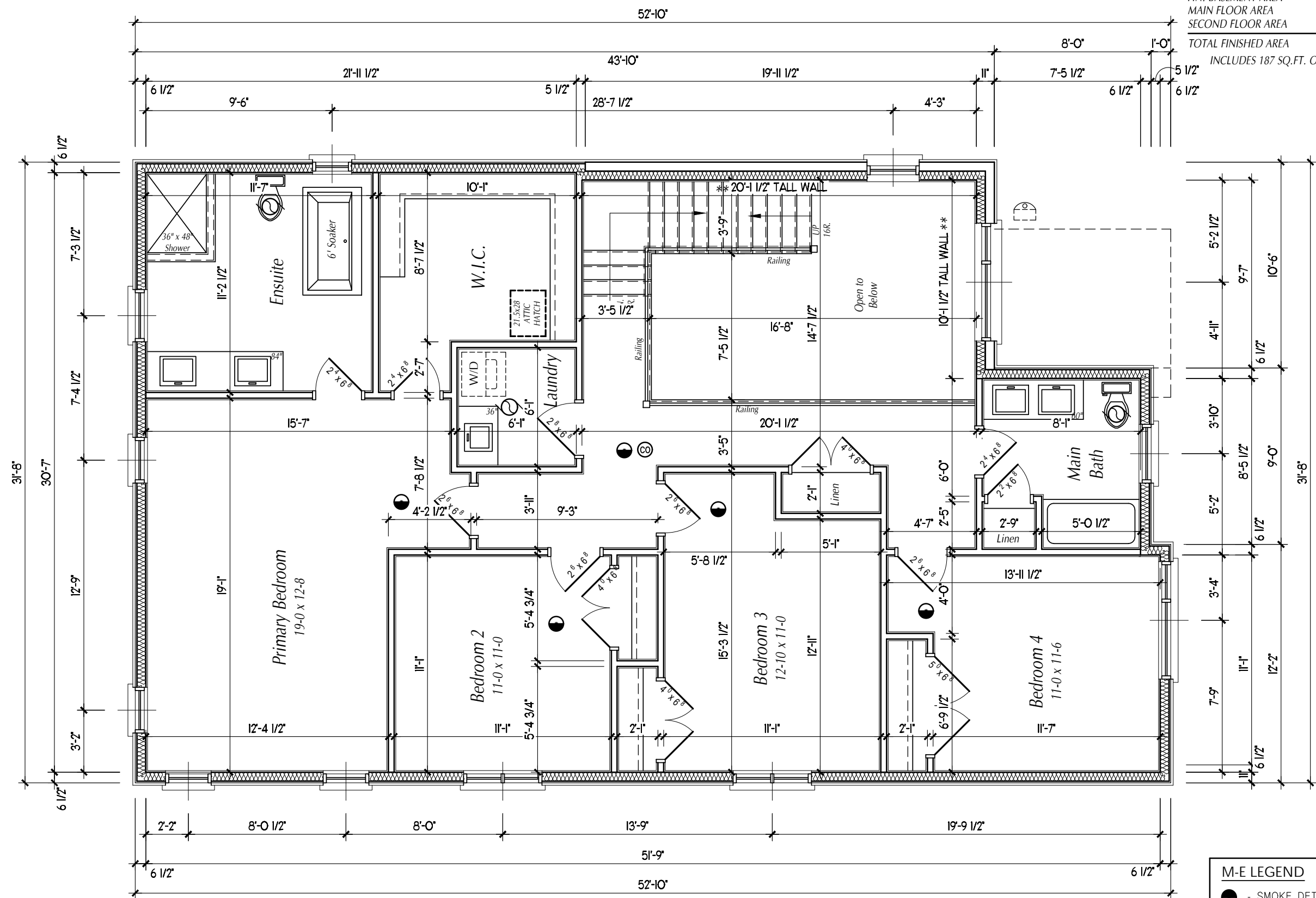
STATUS: BUILDING PERMIT
PLOTTED: 2022-01-17 3:07 PM
SCALE: 3/16"=1'-0"
DWN BY: DR
DATE: JANUARY 2022
REV.

**THE CRIMSON - 2708 SQ.FT.**  
**LOT 17 WELCH COURT**  
 ST. THOMAS, ONTARIO

**SECOND FLOOR PLAN**

PROJECT SHEET No. **4** OF **11**

DRAWINGS ARE NOT TO BE SCALED. REPORT ANY DISCREPANCIES TO ORCHARD DESIGN BEFORE PROCEEDING WITH THE WORK.



**\*\*TALL WALL NOTE**  
 2-2x6 STUDS at 12" o.c.  
 PROVIDE SOLID BEARING AT 48" o.c. VERTICALLY, MINIMUM 3/8" EXTERIOR SHEATHING, AND MINIMUM 1/2" GYPSUM BOARD ON INTERIOR FACE.

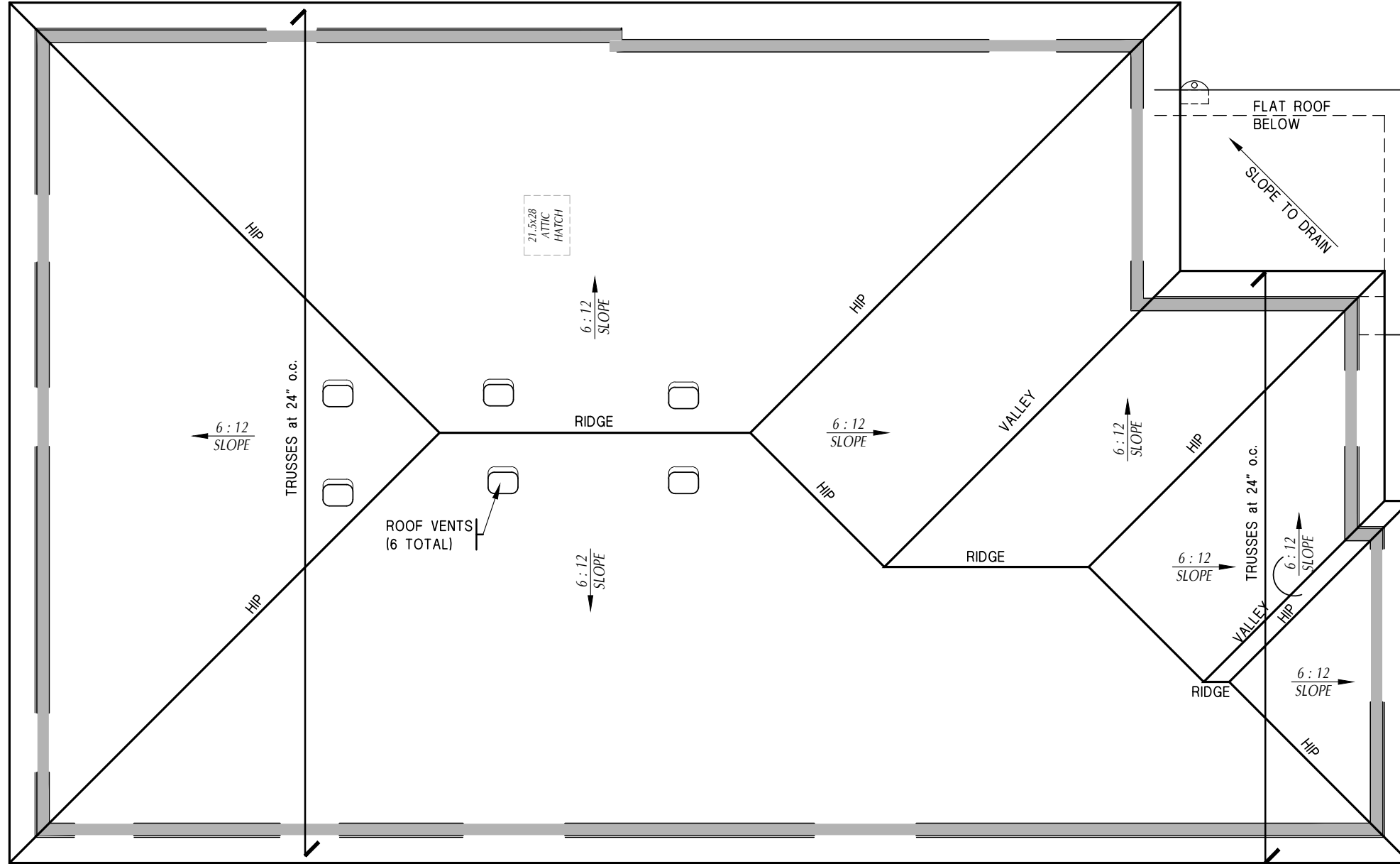
**NOTE:**  
 REINFORCE STUDS IN MAIN BATH FOR FUTURE INSTALLATION OF GRAB BARS ADJACENT TO TUB AND WATER CLOSET. AS PER O.B.C. DIV B, PART 9, 9.5.2.3

**FRAMING NOTES:**  
 ALL INTERIOR STUD WALLS TO BE 2x4, U.N.O.  
 PROVIDE DOUBLE JOIST FRAMING UNDER ALL PARALLEL WALLS ABOVE AND AROUND STAIRS

**LINTEL NOTE:**  
 PROVIDE 2-2x10 ABOVE ALL SECOND FLOOR EXTERIOR WINDOWS, U.N.O.

**M-E LEGEND**

- - SMOKE DETECTOR
- ⊙ - C.O. DETECTOR
- ⊙ - CEILING MOUNTED EXHAUST FAN (ALL BATHROOMS AND WATER CLOSET ROOMS TO BE MECHANICALLY VENTED) NOTE: VENTILATION TO BE DETERMINED IN CONFORMITY TO O.B.C. (932) BY MECHANICAL CONTRACTOR



**NOTE:**  
 PROVIDE 1'-0" ROOF OVERHANG, U.N.O.

**FRAMING NOTES:**

PROVIDE BUILT-UP WOOD STUD POST EQUAL TO WIDTH OF BEAM / GIRDER UNDER ALL BEAMS AND GIRDER TRUSSES.

ROOF AND CEILING FRAMING TO BE AS PER 2006 OBC PART 9.23.13. ALL ROOF RAFTERS TO BE 2x6 AT 16" O.C. UNLESS NOTED OTHERWISE. PROVIDE 2x4 (MIN.) COLLAR TIES, WHERE REQUIRED, TO ENSURE RAFTER SPAN DOES NOT EXCEED 12'-9" HORIZONTALLY. COLLAR TIES MORE THAN 7'-10" LONG TO BE LATERALLY SUPPORTED NEAR THEIR CENTRES BY 1x4 (MIN.) CONTINUOUS MEMBERS PERPENDICULAR TO THE COLLAR TIES. FOR AN UNSUPPORTED RIDGE, RAFTERS ARE TO BE TIED TO CEILING JOISTS AT BASE AND NAILED IN ACCORDANCE WITH TABLE 9.23.13.8 TO PREVENT OUTWARD MOVEMENT. WHEN CEILING JOISTS ARE PERPENDICULAR TO RAFTERS, PROVIDE 2x6 RAFTER TIES (OR OUTRIGGERS) EVERY 3'-11" (MAX.) NAILED TO RAFTERS AS PER TABLE 9.23.13.8.

OVERFRAMED RAFTERS TO BE SUPPORTED ON LOWER RAFTERS BY 2x4 PROPS @ 24" E.W. OR DOUBLE LOWER RAFTERS WHERE THEY SUPPORT OVERFRAMED RAFTERS.

CEILING BEAMS DESIGNED ASSUMING NO LOADING FROM UPPER ROOF (U.N.O). IF OTHERWISE, CONTACT ENGINEER TO REVIEW.

PROVIDE ROOF TIES AS REQUIRED.

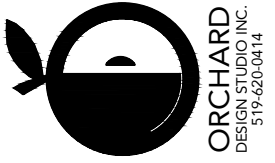
DARKENED WALLS REPRESENT LOAD BEARING WALLS.

**TRUSS MANUFACTURER NOTE:**

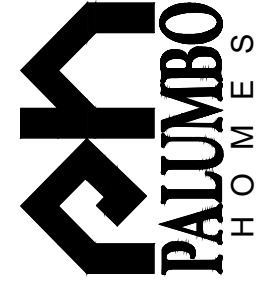
TRUSS MANUFACTURER OR BUILDER TO PROVIDE ROOF TRUSS DRAWINGS TO ORCHARD DESIGN STUDIO PRIOR TO TRUSS MANUFACTURING.

**FLAT ENTRY ROOF / TERRACE NOTE:**

PROVIDE SLOPED ROOF TO SIDE SCUPPER DRAIN. INSTALL GLUE DOWN SINGLE PLY NON-SLIP MEMBRANE ON 5/8" T&G PLYWOOD ON SLOPED 2x6 FLOOR JOISTS. WRAP MEMBRANE UP AND OVER PARAPET WALL UNDER PREFIN. ALUM CAP. INSTALL MEMBRANE UNDER SIDING 12" MIN., FASTEN TO SHEATHING AND SEAL.



I, **Carrie McMillan**, review and take responsibility for the design work on behalf of our firm **Orchard Design Studio** incorporated registered under Division C, Part 3 (3.2.4) of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories. Firm BCIN: 28615 Individual BCIN: 32875  
 Signed: \_\_\_\_\_

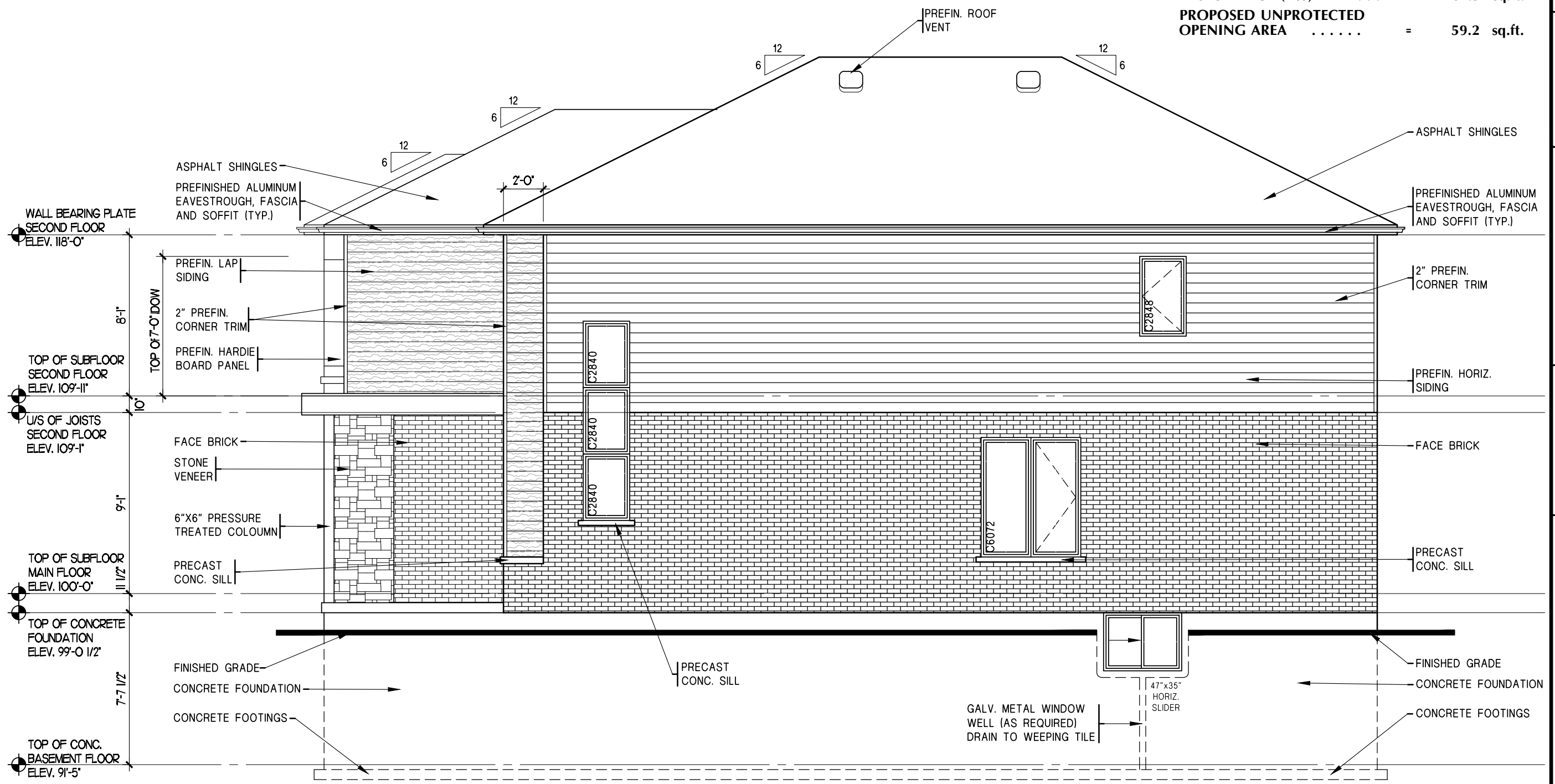


STATUS: BUILDING PERMIT
PLOTTED: 2022-01-17 3:07 PM
SCALE: 3/16"=1'-0"
DWN BY: C/C/M
DATE: JANUARY 2022
REV. _____

PROJECT	<b>THE CRIMSON - 2708 SQ.FT. LOT 17 WELCH COURT ST. THOMAS, ONTARIO</b>
TITLE	<b>ROOF PLAN</b>

SHEET No. **5** OF **11**

TOTAL AREA OF EXPOSED BUILDING FACE ..... = 893.1 sq.ft.  
 ALLOWABLE UNPROTECTED OPENING AREA BASED ON 4'-0" SETBACK (7%) ... = 62.5 sq.ft.  
 PROPOSED UNPROTECTED OPENING AREA ..... = 59.2 sq.ft.



**ORCHARD DESIGN STUDIO INC.**  
519-620-0414

I, **Carrie McMillan**, review and take responsibility for the design work on behalf of our firm Orchard Design Studio Incorporated registered under Division C, Part 3 (3.2.4) of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.  
 Firm BCIN: 28615  
 Individual BCIN: 32875  
 Signed: \_\_\_\_\_

**PALUMBO HOMES**

STATUS: BUILDING PERMIT
PLOTTED: 2022-01-17 3:07 PM
SCALE: 3/16"=1'-0"
DWN BY: C/CM
DATE: JANUARY 2022
REV.

**PROJECT**  
**THE CRIMSON - 2708 SQ.FT.**  
**LOT 17 WELCH COURT**  
 ST. THOMAS, ONTARIO

**TITLE**  
**RIGHT SIDE ELEVATION**

SHEET No.  
**6 OF 11**

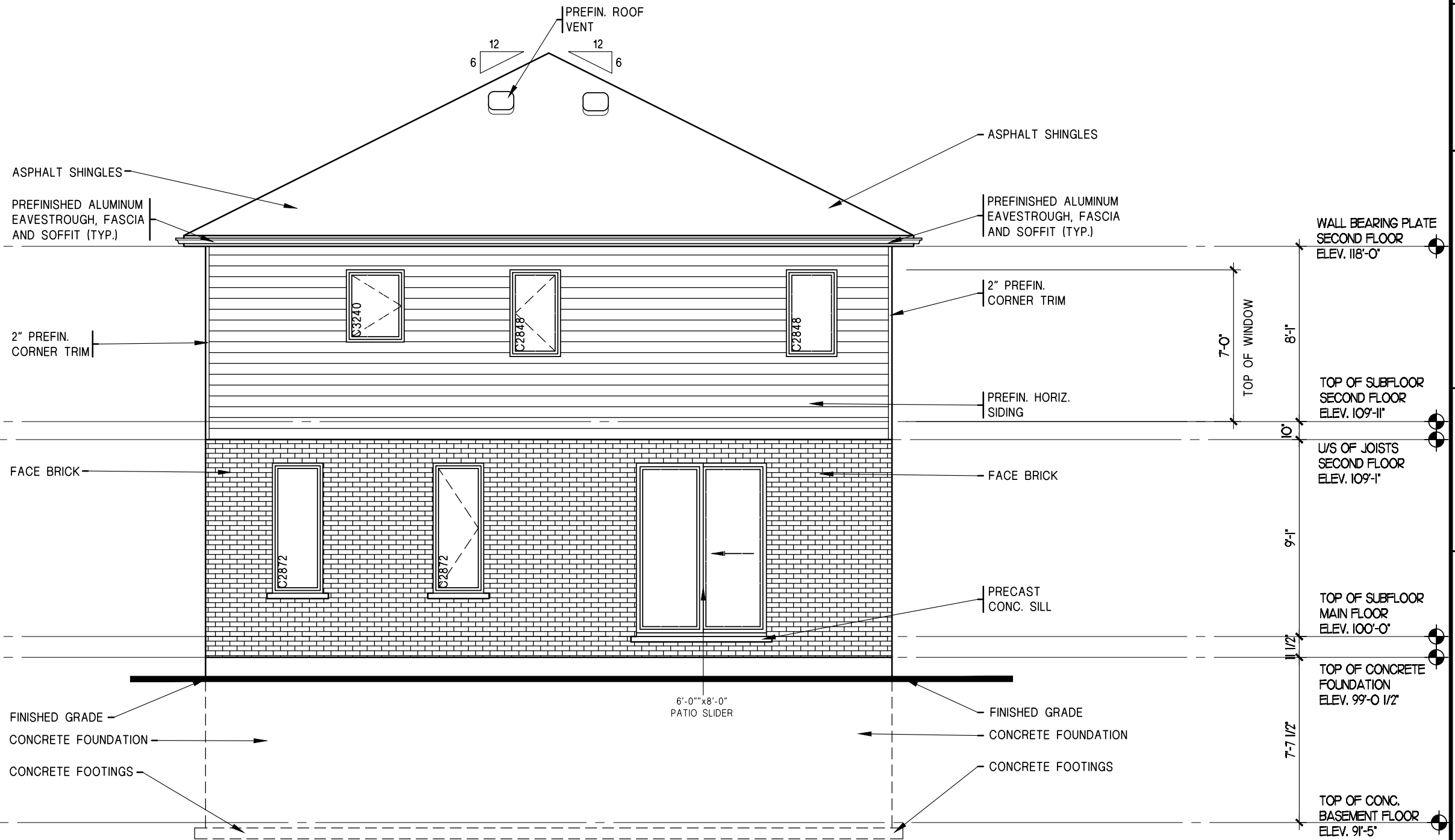
**FLAT ENTRY ROOF / TERRACE NOTE:**  
 PROVIDE SLOPED ROOF TO SIDE SCUPPER DRAIN. INSTALL GLUE DOWN SINGLE PLY NON-SLIP MEMBRANE ON 5/8" T&G PLYWOOD ON SLOPED 2x6 FLOOR JOISTS. WRAP MEMBRANE UP AND OVER PARAPET WALL UNDER PREFIN. ALUM CAP. INSTALL MEMBRANE UNDER SIDING 12" MIN., FASTEN TO SHEATHING AND SEAL.

NOTE: PROVIDE GUARDS (CONFORMING TO DIVISION B, PART 9.8.8 OF THE 2012 ONTARIO BUILDING CODE AND SB-7 TYPE GUARDS FOR HOUSING AND SMALL BUILDINGS) AT PORCH WHERE DISTANCE FROM PORCH TO GRADE IS 2'-0" OR GREATER.

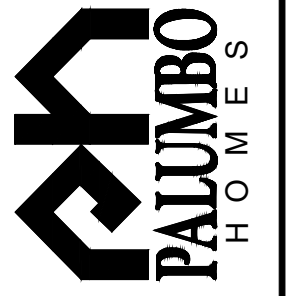
NOTE: FOR WALK-OUT & PART WALK-OUT LOTS STEP CONC. FOUNDATION AS REQ'D FOR PROPOSED GRADES ENSURING A MAX. OF 4'-0" OF Laterally UNSUPPORTED WALL

NOTE: WINDOW SIZES SHOWN ARE APPROXIMATE. EXACT ROUGH OPENINGS TO BE DETERMINED BY WINDOW MANUFACTURERS SPECIFICATIONS.

NOTE: WHERE PATIO/TERRACE DOOR THRESHOLD IS GREATER THAN 2'-0" ABOVE FINISHED GRADE, PROVIDE SB-7 GUARD OR PROVIDE BLOCKING TO PREVENT DOOR FROM OPENING MORE THAN 4".



I, **Carrie McMillan**, review and take responsibility for the design work on behalf of our firm **Orchard Design Studio**, incorporated and registered under Division C, Part 3 (3.2.4) of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories. Firm BCIN: 28615 Individual BCIN: 32875 Signed: \_\_\_\_\_



STATUS: BUILDING PERMIT
PLOTTED: 2022-01-17 3:07 PM
SCALE: 3/16"=1'-0"
DWN BY: C/CM
DATE: JANUARY 2022
REV. _____

**PROJECT**  
**THE CRIMSON - 2708 SQ.FT.**  
**LOT 17 WELCH COURT**  
 ST. THOMAS, ONTARIO

**TITLE**  
**REAR ELEVATION**

SHEET No. **7** OF **11**

FOLDER: XXXX

FILE: 17 Welch - Crimson - Elevation.dwg

NOTE: PROVIDE GUARDS (CONFORMING TO DIVISION B, PART 9.8.8 OF THE 2012 ONTARIO BUILDING CODE AND SB-7 TYPE GUARDS FOR HOUSING AND SMALL BUILDINGS) AT PORCH WHERE DISTANCE FROM PORCH TO GRADE IS 2'-0" OR GREATER.

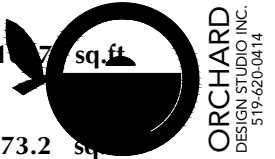
NOTE: FOR WALK-OUT & PART WALK-OUT LOTS STEP CONC. FOUNDATION AS REQ'D FOR PROPOSED GRADES ENSURING A MAX. OF 4'-0" OF Laterally UNSUPPORTED WALL

NOTE: WINDOW SIZES SHOWN ARE APPROXIMATE. EXACT ROUGH OPENINGS TO BE DETERMINED BY WINDOW MANUFACTURERS SPECIFICATIONS.

NOTE: WHERE PATIO/TERRACE DOOR THRESHOLD IS GREATER THAN 2'-0" ABOVE FINISHED GRADE, PROVIDE SB-7 GUARD OR PROVIDE BLOCKING TO PREVENT DOOR FROM OPENING MORE THAN 4".

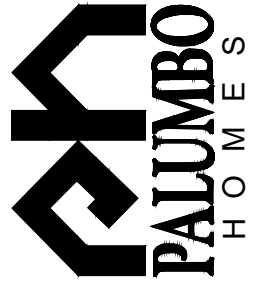
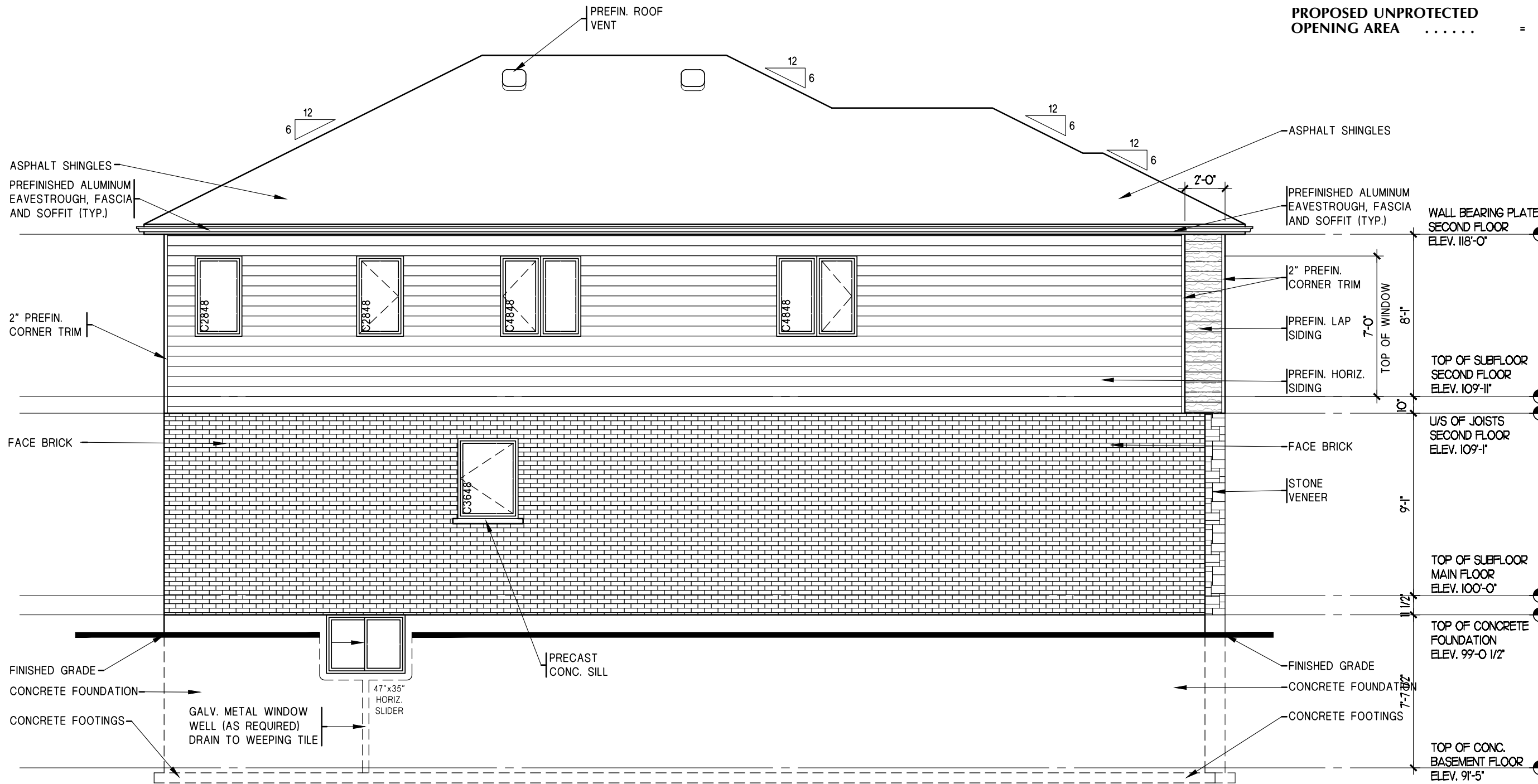
DRAWINGS ARE NOT TO BE SCALED. REPORT ANY DISCREPANCIES TO ORCHARD DESIGN BEFORE PROCEEDING WITH THE WORK.

TOTAL AREA OF EXPOSED BUILDING FACE ..... = 1177.7 sq.ft.  
 ALLOWABLE UNPROTECTED OPENING AREA BASED ON 4'-0" SETBACK (7%) ... = 73.2 sq.ft.  
 PROPOSED UNPROTECTED OPENING AREA ..... =



ORCHARD DESIGN STUDIO INC.  
 519-620-0414

I. Garcia, Architect  
 take responsibility for the design work on behalf of our firm  
 Orchard Design Studio  
 Incorporated registered under the Building Code. I am qualified and the firm is registered, in the appropriate classes/categories.  
 Firm BCIN: 28615  
 Individual BCIN: 32875  
 Signed: \_\_\_\_\_



STATUS: BUILDING PERMIT
PLOTTED: 2022-01-17 3:07 PM
SCALE: 3/16"=1'-0"
DWN BY: C/CM
DATE: JANUARY 2022
REV.

PROJECT: **THE CRIMSON - 2708 SQ.FT.**  
**LOT 17 WELCH COURT**  
 ST. THOMAS, ONTARIO  
 TITLE: **LEFT SIDE ELEVATION**

SHEET No. **8** OF **11**

FOLDER: XXXX

FILE: 17 Welch - Crimson - Elevation.dwg

NOTE: PROVIDE GUARDS (CONFORMING TO DIVISION B, PART 9.8.8 OF THE 2012 ONTARIO BUILDING CODE AND SB-7 TYPE GUARDS FOR HOUSING AND SMALL BUILDINGS) AT PORCH WHERE DISTANCE FROM PORCH TO GRADE IS 2'-0" OR GREATER.

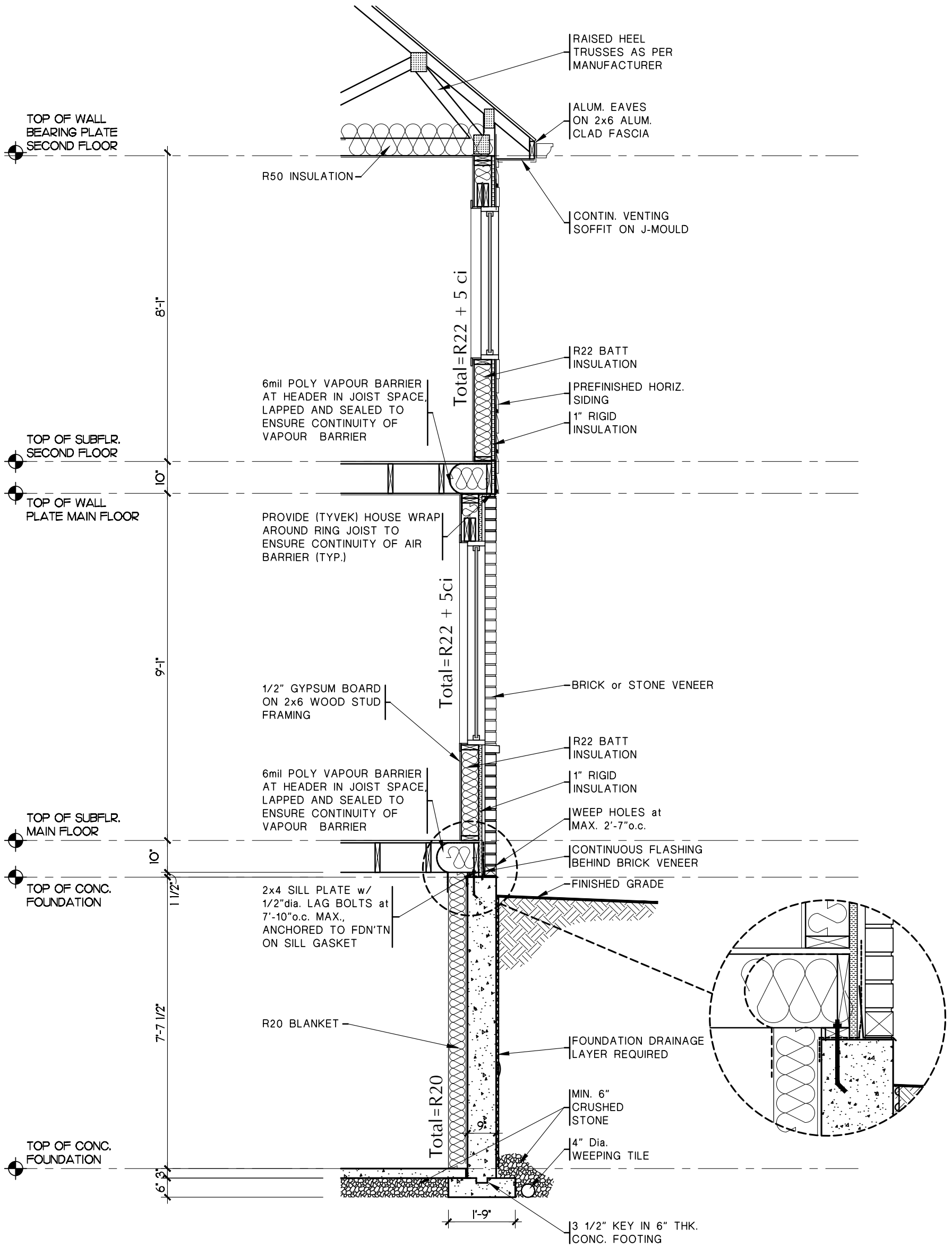
NOTE: FOR WALK-OUT & PART WALK-OUT LOTS STEP CONC. FOUNDATION AS REQ'D FOR PROPOSED GRADES ENSURING A MAX. OF 4'-0" OF Laterally UNSUPPORTED WALL

NOTE: WINDOW SIZES SHOWN ARE APPROXIMATE. EXACT ROUGH OPENINGS TO BE DETERMINED BY WINDOW MANUFACTURERS SPECIFICATIONS.

NOTE: WHERE PATIO/TERRACE DOOR THRESHOLD IS GREATER THAN 2'-0" ABOVE FINISHED GRADE, PROVIDE SB-7 GUARD OR PROVIDE BLOCKING TO PREVENT DOOR FROM OPENING MORE THAN 4".

DRAWINGS ARE NOT TO BE SCALED. REPORT ANY DISCREPANCIES TO ORCHARD DESIGN BEFORE PROCEEDING WITH THE WORK.





NOTE: WHERE SOIL GAS DEPRESSURIZATION IS REQ'D PROVIDE 4" Dia. PIPE INSTALLED VERTICALLY SUCH THAT ITS BOTTOM END OPENS INTO THE GRANULAR FILL, AND ITS TOP END WILL PERMIT CONNECTION TO DEPRESSURIZATION EQUIPMENT.

<p>6 OF 11</p>	<p>PROJECT</p> <p><b>CRIMSON</b></p> <p><b>LOT 17 WELCH COURT</b></p> <p>ST. THOMAS , ONTARIO</p>	<p>STATUS: BUILDING PERMIT</p> <p>PLOTTED: 2021-12-17 10:38 AM</p> <p>SCALE: 3/8"=1'-0"</p> <p>DWN BY: CJCM</p> <p>DATE: OCTOBER 2021</p> <p>REV. _____</p>		<p>1 Carrie McMillan review and take responsibility for the design work on behalf of our firm Orchard Design Studio Incorporated registered under Division C, Part 3 (3.2.4) of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.</p> <p>Firm BCIN: 28615 Individual BCIN: 32875</p> <p>Signed: <i>Carrie McMillan</i></p>	
	<p>TITLE</p> <p><b>TYPICAL WALL SECTION</b></p>	<p>ORCHARD DESIGN STUDIO INC. 519-620-0414</p>			

# CODES AND STANDARDS

## 1. STAIR DIMENSIONS

### INTERIOR STAIRS (INCLUDING THE GARAGE)

MAX. RISE 200mm (7 7/8")  
 MIN. RUN 210mm (8 1/4")  
 MIN. TREAD 235mm (9 1/4")  
 NOSING 25mm (1")  
 UNIFORM RISE AND RUN IN ANY ONE FLIGHT OF STAIRS  
 MIN. HEADROOM 1950mm (6'-5")

### GUARD HEIGHT:

- AT LANDINGS 900mm (35")
- AT STAIRS 900mm (35")
- GUARDS TO BE NON-CLIMBABLE WITH MAX. SPACING OF 100mm (4")
- HANDRAILS INSTALLED 900mm (35")

### EXTERIOR STAIRS

MAX. RISE 200mm (7 7/8")  
 MIN. RUN 210mm (8 1/4")  
 MIN. TREAD 235mm (9 1/4")  
 NOSING 25mm (1")

### GUARD HEIGHT:

- GREATER THAN 2'-0" ABOVE GRADE = 900mm (35")
- GREATER THAN 5'-11" ABOVE GRADE = 1070mm (42")

A LANDING IS REQUIRED AT THE MAIN ENTRANCE.  
 A LANDING IS REQUIRED AT ANY SECONDARY ENTRANCE WHEN MORE THAN 3 RISERS AND INSTALLED 900mm (35")

### GUARD NOTES:

ALL INTERIOR AND EXTERIOR GUARDS SHALL CONFORM TO THE ONTARIO BUILDING CODE 2012 SUPPLEMENTARY STANDARD

SB-7 GUARDS FOR HOUSING AND SMALL BUILDINGS.

### 2.2 STRUCTURAL DETAILS

FROM TABLE 2.2.1. - EXTERIOR POST AND RAIL SYSTEM CONNECTION DETAILS REFER TO CONNECTION DETAILS EA-1, EB-1 AND EC-4. FROM TABLE 2.2.2 EXTERIOR CANTILEVERED PICKET SYSTEM CONNECTION DETAILS REFER TO CONNECTION DETAILS ED-1, ED-2, AND ED-5

### 3.2 STRUCTURAL DETAILS

FROM TABLE 3.2.1. - INTERIOR POST AND RAIL SYSTEM CONNECTION DETAILS REFER TO CONNECTION DETAILS IA-1, IB-1, IC-2 AND ID-1 FROM TABLE 3.2.3. - INTERIOR STAIR GAURD CONNECTION DETAILS REFER TO CONNECTION DETAILS IF-1, IG-1, IG-3, IG-4, AND IH-1 (ALSO IC-2 MODIFIED TO SUIT SLOPE)

2. ALL FLOORS WITH CERAMIC TILE TO BE REINFORCED AS PER DIVISION B, 9.30.6 OF THE O.B.C.
3. ALL LIGHTING AND ELECTRICAL TO COMPLY WITH O.B.C. 9.34.
4. SMOKE DETECTORS ARE REQUIRED ON EACH FLOOR LEVEL AS WELL AS IN EACH SLEEPING ROOM AND ARE TO BE INTERCONNECTED.
5. RANGE HOODS TO BE VENTED TO THE EXTERIOR c/w NON-COMBUSTIBLE PIPING.
6. ATTIC VENTILATION TO COMPLY WITH DIVISION B, 9.32. OF THE O.B.C.
7. PROVIDE AN AIR BARRIER IN ACCORDANCE WITH DIVISION B, 9.25.5 OF THE O.B.C.
8. HEADROOM UNDER DUCTS AND BEAMS MIN. 6'-5".

9. INSULATE & WEATHERSTRIP ATTIC ACCESS HATCHES (MIN. 21.5"x28")
10. ALL DOORS AND WINDOWS TO COMPLY WITH RESISTANCE TO FORCED ENTRY DIVISION B, 9.7.3.1 OF THE O.B.C.
11. DOOR FROM GARAGE TO HOUSE TO BE EXTERIOR TYPE c/w WEATHERSTRIPPING AND CLOSER.
12. PROVIDE MINIMUM R25 INSULATION ON INTERIOR GARAGE WALL
13. PROVIDE MINIMUM R35 INSULATION IN FLOOR SPACE OVER GARAGE, AND ENSURE WALLS AND CEILING ON GARAGE SIDE ADJACENT TO LIVING SPACE ARE TO BE DRYWALLED AND SEALED (GAS-PROOFED).
14. EVERY FLOOR CONTAINING BEDROOMS MUST HAVE AT LEAST ONE WINDOW WITH AN UNOBSTRUCTED OPENING WITH AN OPENABLE PORTION NOT LESS THAN 0.35sq.m. (3.8sq.ft.), WITH NO DIMENSION LESS THAN 380mm (15"), AND A SILL HEIGHT NO MORE THAN 1m (3'-3") ABOVE FIN. FLOOR.
15. FOR MASONRY VENEER INSTALLATION, PROVIDE CONTINUOUS FLASHING AND WEEPHOLES EVERY 31"o/c MAX.
16. PRIOR TO PROCEEDING WITH CONSTRUCTION, THE BUILDER MUST VERIFY ALL INFORMATION, DIMENSIONS AND SPECIFICATIONS OF THIS PLAN.
17. CONTRACTOR SHALL CHECK ALL DIMENSIONS ON WORKING DRAWINGS AND REPORT ANY DISCREPANCIES TO ORCHARD DESIGN STUDIO BEFORE PROCEEDING WITH THE WORK. ANY CHANGES, ALTERATIONS OR REVISIONS MUST BE REPORTED TO ORCHARD DESIGN STUDIO BEFORE PROCEEDING WITH THE WORK.

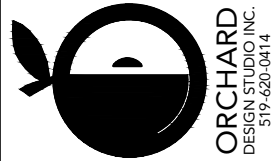
## FOUNDATION NOTES

1. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE CONSTRUCTION SAFETY ACT 1980 AND ANY SUBSEQUENT AMENDMENTS.
2. REMOVE ALL TOPSOIL, ORGANIC AND LOOSE FILL MATERIAL FROM BUILDING AREA BEFORE STARTING CONSTRUCTION.
3. PROOF ROLL EXISTING FILL MATERIAL. REMOVE ANY LOOSE OR SOFTENED AREAS BENEATH SLAB ON GRADE BEFORE PLACING GRANULAR FILL.
4. ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL OR COMPACTED FILL WITH A MINIMUM SOIL BEARING CAPACITY AS PER O.B.C. 9.15.1
5. APPROVED GRANULAR FILL UNDER FOOTINGS AND FLOOR SLABS SHALL BE COMPACTED IN 8" LAYERS TO 98% STANDARD PROCTOR MAXIMUM DRY DENSITY.
6. ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM 4 ft. BELOW FINISHED EXTERIOR GRADE TO PROTECT THE FOOTINGS FROM FROST ACTION.
7. ALL CONCRETE WORK TO CONFORM TO CSA STANDARD A438-00 AND A23.1-04.
8. REINFORCING STEEL SHALL BE DEFORMED HI-BOND HARD GRADE WITH A MINIMUM YIELD STRENGTH OF 841.2 MPa
9. ALL STUD WALLS SHALL BE ANCHORED TO THE FOUNDATION OR FLOOR SLAB WITH 1/2" DIAMETER ANCHOR BOLTS AT 7'-10 1/2" o/c MAXIMUM AS PER 9.23.6.1. OF THE O.B.C.
10. THE COMPRESSIVE STRENGTH OF UNREINFORCED CONCRETE AFTER 28 DAYS SHALL NOT BE LESS THAN, 32 MPa FOR GARAGE and CARPORT FLOORS and ALL EXTERIOR FLATWORK 20 MPa FOR INTERIOR FLOORS OTHER THAN THOSE FOR GARAGES AND CARPORTS, and 15 MPa FOR ALL OTHER APPLICATIONS, UNLESS NOTED OTHERWISE

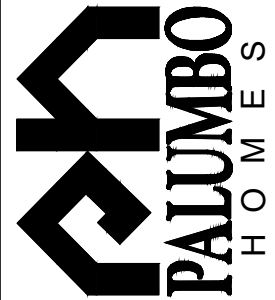
11. ALL CONCRETE FORMS TO BE WET THOROUGHLY BEFORE POURING CONCRETE.
12. DO NOT ADD WATER TO CONCRETE. IF HIGHER SLUMP CONCRETE IS DESIRED, CONCRETE SUPPLIER SHALL DESIGN AND SUPPLY ACCORDINGLY.
13. WATER CURING OF CONCRETE IS RECOMMENDED.
14. USE A MINIMUM OF 8" COMPACTED LAYER OF 3/4" CLEAR STONE UNDER ALL GROUND SLABS.
15. ANY NECESSARY PRECAUTIONS SHALL BE TAKEN TO ENSURE THAT EXISTING FOOTINGS ARE NOT DISTURBED OR UNDERMINED IN ANY WAY DURING EXCAVATION.
16. THE FOLLOWING MINIMUM CONCRETE COVERS FOR REINFORCING STEEL SHALL BE PROVIDED: FOOTINGS 3"+/-, PIERS AND WALLS: 1 1/2"+/- UNLESS NOTED OTHERWISE.
17. SPACING OF CONTROL JOINTS IN CONCRETE SLABS SHALL NOT EXCEED 20 FEET O.C.

## FRAMING NOTES

1. STRUCTURAL STEEL SHALL CONFORM TO CSA G40.21-44W, G40.21-50W CLASS H FOR H.S.S AND G40.21-50W FOR W SHAPE SECTIONS.
2. STEEL BEAMS SHALL HAVE 3 1/2" MINIMUM END BEARING. STEEL LINTELS SHALL HAVE MIN. 6" BEARING ON MASONRY UNLESS INDICATED OTHERWISE.
3. ALL BEAMS CANTILEVERED OVER A COLUMN OR OTHER SUPPORT SHALL HAVE A MINIMUM OF 2- 3/8" THICK STIFFENER PLATES EACH SIDE OF WEB UNLESS INDICATED OTHERWISE.
4. COLUMN BASE PLATES AND BEAM BEARING PLATES SHALL BE GROUTED WITH 1 1/2" NON-SHRINK GROUT.
5. SHOP DRAWINGS OF STRUCTURAL STEEL SHALL BE SUBMITTED TO THE BUILDER FOR REVIEW BEFORE FABRICATION.
6. WELDING OF STRUCTURAL STEEL SHALL CONFORM TO THE REQUIREMENTS OF CSA STANDARD W59 AND SHALL BE UNDERTAKEN BY A FABRICATOR FULLY APPROVED BY THE CANADIAN WELDING BUREAU TO THE REQUIREMENTS OF CSA STANDARD W47.
7. BOLTED CONNECTIONS SHALL USE A325 BOLTS, USING BEARING TYPE CONNECTIONS.
8. PREFABRICATED WOOD TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE DETAILS AND DESIGN LOADS ON THE ARCHITECTURAL DRAWINGS AND/OR O.B.C. REQUIREMENTS. SHOP DRAWINGS OF THE ROOF TRUSSES INCLUDING LAYOUT OF THE TRUSSES, BRIDGING, BRACING AND BEARING DETAILS (INCLUDING HOLD-DOWN CLIPS) SHALL BEAR THE STAMP OF A REGISTERED PROFESSIONAL ENGINEER OF THE PROVINCE OF ONTARIO AND SHALL BE SUBMITTED TO THE BUILDER AND DESIGNER FOR REVIEW BEFORE FABRICATION.
9. ALL TIMBER FOR WOOD TRUSSES SHALL BE KILN DRIED AND WELL SEASONED IN ORDER TO PREVENT POSSIBLE DISTORTION OR DEFORMATION OF THE TRUSSES.
10. NAILING REQUIREMENTS (AS PER O.B.C.) SHALL BE AS FOLLOWS:
  - A. VERTICAL STUDS TO BOTTOM PLATES: 4- 3" ARDOX NAILS.
  - B. VERTICAL STUDS TO TOP PLATES: 4- 3 1/2" ARDOX NAILS.
  - C. ROOF TRUSSES TO PLATES: TO BE DESIGNED BY TRUSS ENGINEER.
  - D. WIND BRACING (PER TRUSS): TO BE DESIGNED BY TRUSS ENGINEER.
  - E. BRIDGING (PER TRUSS): TO BE DESIGNED BY TRUSS ENGINEER.
  - F. LINTELS: 3 1/2" ARDOX NAILS @ 12" O.C. HORIZONTAL AND 4" O.C. VERTICAL STAGGERED.
  - G. WALL SHEATHING: 1 1/2" ARDOX NAILS @ 8" O.C. TO STUDS & PLATES.
11. ALL STUD WALLS SHALL BE ANCHORED TO THE FOUNDATION OR FLOOR SLAB w/ 1/2" DIA. ANCHOR BOLTS AT 7'-10 1/2" o.c. MAX. AS PER 9.23.6.1. OF THE O.B.C.
12. ALL WOOD SHALL BE No. 2 SPRUCE OR BETTER.
13. THE GENERAL CONTRACTOR SHALL TAKE PRECAUTIONS TO NOT OVERLOAD THE STRUCTURE DURING CONSTRUCTION.
14. WHERE FLOOR JOISTS ARE PARALLEL TO EXTERIOR SUPPORT WALL TURN JOISTS BACK 2'-0" FOR BRICK CANTILEVER.



I Carole McMillan take responsibility for the design work on behalf of our firm Orchard Design Studio Incorporated registered under Division C, Part 3 (3.2.4) of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.  
 Firm BCIN: 28615  
 Individual BCIN: 32875  
 Signed: *Carole McMillan*

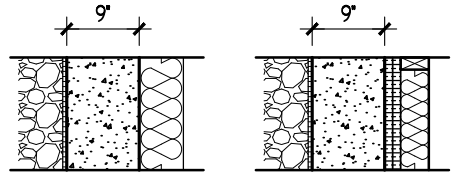


STATUS: BUILDING PERMIT	PLOTTED: 2022-01-17 3:07 PM
SCALE: 1/2"=1'-0"	DWN BY: CUCM
DATE: NOVEMBER 2021	REV.

PROJECT	CRIMSON LOT 17 WELCH COURT ST. THOMAS, ONTARIO
TITLE	CONSTRUCTION SCHEDULE

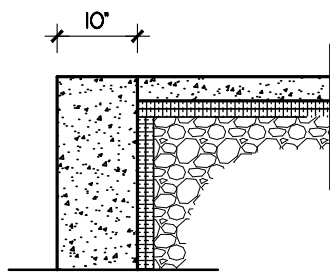
SHEET No. **10** OF **11**

**WALL TYPES**



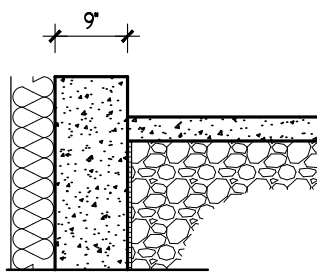
TYPICAL EXTERIOR FOUNDATION WALL  
TYPICAL EXTERIOR FOUNDATION WALL (FINISHED BASEMENT)

- 9" CONCRETE FOUNDATION BETWEEN
- ASPHALTIC DAMP PROOFING TO FINISHED GRADE
- R20 BLANKET INSULATION - FULL HEIGHT OF FOUNDATION WALL
- 6mil POLY VAPOUR BARRIER OVERLAPPED AND SEALED
- FOR FINISHED BASEMENT
  - SAME AS ABOVE WITH
  - R10 RIGID INSULATION w/ R12 BATT INSULATION & 2x4 STUDS at 24" IN LIEU OF R20 BLANKET INSULATION



TYPICAL FOUNDATION WALL at WALK-OUT

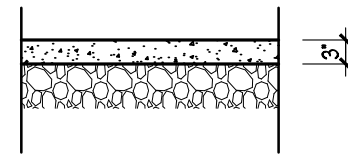
- 10" CONCRETE FOUNDATION
- R10 (2" THICK) RIGID INSULATION (MINIMUM 2'-0" BELOW FINISHED GRADE)
- SEE FOUNDATION PLANS FOR EXTENT OF WALL TO TOP OF FOOTINGS (MIN. 4'-0" BELOW GRADE)



TYPICAL FOUNDATION WALL at GARAGE

- 9" CONCRETE FOUNDATION BETWEEN
- ASPHALTIC DAMP PROOFING TO FINISHED GRADE
- R20 BLANKET INSULATION- FULL HEIGHT OF FOUNDATION WALL
- 6mil POLY VAPOUR BARRIER OVERLAPPED AND SEALED

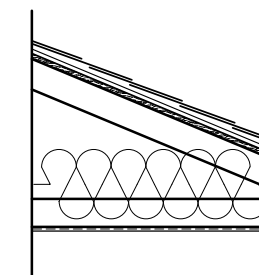
**FLOOR TYPES**



TYPICAL SLAB ON GRADE

- 3" CONCRETE SLAB ON
- 6mil POLY DAMP PROOFING
- GRANULAR 'A' BASE (COMPACT IN MINIMUM 6" THICK LAYERS)
- PROVIDE SAWN CONTROL JOINTS c/w JOINT FILLER

**ROOF TYPES**

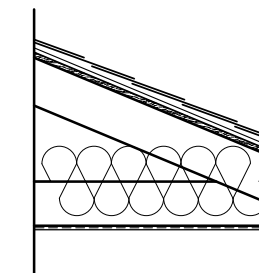


TYPICAL WOOD TRUSS ROOF

- MINIMUM 210lb. ASPHALT SHINGLES
- MINIMUM 36" WIDE EAVE PROTECTION TO MINIMUM 12" INSIDE INNER FACE OF WALL
- MINIMUM 36" WIDE VALLEY FLASHINGS AS REQUIRED
- ROOF VENTS WITH UNOBSTRUCTED FREE AREA OF 1:300 OF INSULATION CEILING AREA
- 7/16" PLYWOOD, WAFERBOARD OR O.S.B. SHEATHING c/w EDGE CLIPS ON
- PRE-ENGINEERED WOOD TRUSSES at 24" o.c.
- R50 INSULATION AT BOTTOM CHORD OF CEILING JOISTS
- INSULATION BAFFLES & AIR CHANNELS TO ENSURE ADEQUATE VENTILATION
- 6mil CONTINUOUS POLY VAPOUR BARRIER
- 1/2" GYPSUM CEILING BOARD
- IN SLOPED AREAS (SCISSOR TRUSSES WHERE NOTED ON PLANS) PROVIDE R31 SPRAY FOAM INSULATION (MINIMUM) & ENSURE 3" AIR SPACE BETWEEN INSULATION AND ROOF SHEATHING

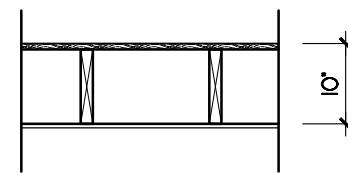
45min. RATING (SIDEYARD IS 0.6m-1.2m)

- FOR GABLE ENDS ONLY
- 2 LAYERS OF EXTERIOR GRADE 5/8" TYPE 'X' GYPSUM BOARD



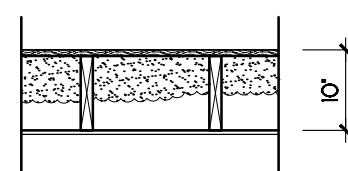
TYPICAL WOOD RAFTER ROOF

- MINIMUM 210lb. ASPHALT SHINGLES
- MINIMUM 36" WIDE EAVE PROTECTION TO MINIMUM 12" INSIDE INNER FACE OF WALL
- MINIMUM 36" WIDE VALLEY FLASHINGS AS REQUIRED
- ROOF VENTS WITH UNOBSTRUCTED FREE AREA OF 1:300 OF INSULATION CEILING AREA FOR ROOF SLOPES, UNLESS 6:12 BELOW, THEN 1:150 IS REQUIRED - SEE CODE REFERENCE 9.19.1.2
- 7/16" PLYWOOD, WAFERBOARD OR O.S.B. SHEATHING c/w EDGE CLIPS ON
- 2x6 WOOD RAFTERS at 16" o.c. (UNLESS NOTED OTHERWISE ON FRAMING PLAN)
- R50 INSULATION AT BOTTOM CHORD OF CEILING JOISTS
- INSULATION BAFFLES & AIR CHANNELS TO ENSURE ADEQUATE VENTILATION
- 6mil CONTINUOUS POLY VAPOUR BARRIER
- 1/2" GYPSUM CEILING BOARD
- R31 SPRAY FOAM INSULATION IN ROOF JOISTS (WHERE APPLICABLE) & ENSURE 3" AIR SPACE BETWEEN INSULATION AND ROOF SHEATHING



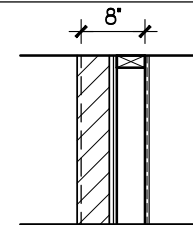
TYPICAL FRAMED FLOOR

- 5/8" T&G SUBFLOOR ON
- 2x10 SPRUCE FLOOR JOISTS at 16" o.c. or 12" o.c. (AS NOTED ON PLANS)
- 2x2 CROSS BRIDGING at 6'-10" MAXIMUM
- 1/2" GYPSUM BOARD CEILING (SECOND FLOOR ONLY)
- 1/4" PLYWOOD UNDERLAY IN VINYL FLOOR AREAS
- BATT INSULATION at EXTERIOR HEADER SPACE



TYPICAL INSULATED FRAMED FLOOR (GARAGES)

- SAME AS FLOOR ABOVE EXCEPT
- 6" SPRAYED URETHANE FOAM INSULATION - MINIMUM R31
- SEAL JOIST SPACE FROM AIR INFILTRATION AND COVER COMPLETELY ALL PIPES

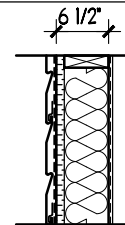


TYPICAL EXTERIOR GARAGE WALL

- BRICK VENEER c/w GALVANIZED BRICK TIES OVERHANG FOUNDATION
- 1" MINIMUM AIR SPACE
- 1/4" WAFER BOARD OR O.S.B. SHEATHING
- 2x4 WOOD STUDS at 16" o.c.
- R14 BATT INSULATION (WHERE NOTED)

1hr. RATING (SIDEYARD IS 0.0m-0.6m)

- SAME AS ABOVE WITH
- 5/8" TYPE 'X' GYPSUM BOARD IN LIEU OF 1/2" GYPSUM BOARD

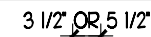


TYPICAL EXTERIOR SIDING WALL

- PREFINISHED HARDIE BOARD OR SIMILAR
- 1" (R5.0) RIGID INSULATION
- 7/16" WAFERBOARD OR O.S.B. SHEATHING
- 2x6 WOOD STUDS at 16" O.C.
- R22 BATT INSULATION
- 6mil POLY VAPOUR/AIR BARRIER OVERLAPPED AND SEALED
- 1/2" GYPSUM BOARD

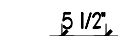
1hr. RATING (SIDEYARD IS 0.0m-0.6m)

- 1HR (0.6m-1.2m) SAME AS W-G1 NON-COMBUSTIBLE PREFIN. SIDING or DENSGLOSS w/ TYP 'X' IN LIEU OF 1/2" GYPSUM BOARD



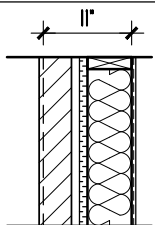
TYPICAL WOOD STUD PARTITION

- 1/2" GYPSUM BOARD
- 2x4 WOOD STUDS at 16" o.c.
- 1/2" GYPSUM BOARD
- CHANGE TO 2x6 WOOD STUDS WHERE DIMENSIONED ON PLANS



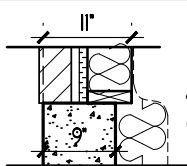
TYPICAL INTERIOR GARAGE WALL

- 1/2" GAS PROOF GYPSUM BOARD
- 2x6 WOOD STUDS at 16" o.c.
- R22 BATT INSULATION
- 1/2" GYPSUM BOARD



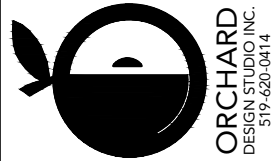
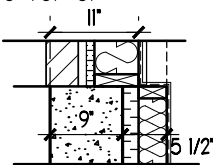
TYPICAL EXTERIOR MASONRY VENEER WALL

- BRICK VENEER c/w GALVANIZED BRICK TIES OVERHANG FOUNDATION
- 1" MINIMUM AIR SPACE
- 1" RIGID INSULATION (R-5.0)
- 7/16" WAFERBOARD OR O.S.B. SHEATHING
- 2x6 WOOD STUDS at 24" o.c. OR 16" o.c. IN KITCHEN AREA
- R22 BATT INSULATION
- 6mil POLY VAPOUR/AIR BARRIER OVERLAPPED AND SEALED
- 1/2" GYPSUM BOARD
- 1hr. RATING (SIDEYARD IS 0.0m-0.6m)
- SAME AS ABOVE WITH
- 5/8" TYPE 'X' GYPSUM BOARD IN LIEU OF 1/2" GYPSUM BOARD

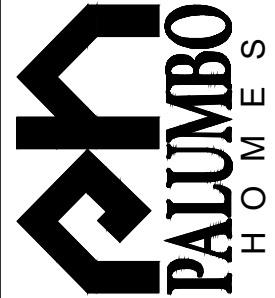


TYPICAL BASEMENT WALL at STEPPED CONDITION (UNFINISHED)

- BRICK VENEER c/w GALVANIZED BRICK TIES OVERHANG FOUNDATION
- 1" MINIMUM AIR SPACE
- 2x6 WOOD STUDS at 16" o.c. c/w
- 1" RIGID INSULATION (R5.0)
- R22 BATT INSULATION
- R20 BLANKET INSULATION TO TOP OF FOUNDATION
- 6mil POLY VAPOR BARRIER OVERLAPPED AND SEALED
- TYPICAL BASEMENT WALL BELOW GRADE FINISHED
  - 2" (R10) RIGID INSULATION
  - 2x4 WOOD STUDS @ 16" o.c. (CAN BE FRAMED TO U/S OF FLOOR JOIST TO ELIMINATE LEDGE)
  - R12 BATT INSULATION
  - 6mil POLY VAPOR OVERLAPPED AND SEALED
  - 1/2" GYPSUM BOARD



Orchard Design Studio Inc.  
519-620-0414  
I, Carrie McMillan, review and take responsibility for the design work on behalf of our firm Orchard Design Studio Incorporated registered under Division C, Part 3 (3.2.4) of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.  
Firm BCIN: 28615  
Individual BCIN: 32875  
Signed: *Carrie McMillan*



STATUS: BUILDING PERMIT	PLOTTED: 2022-01-17 3:07 PM
SCALE: 1/2"=1'-0"	DWN BY: CUCM
DATE: NOVEMBER 2021	REV.

PROJECT: **CRIMSON LOT 17 WELCH COURT**  
ST. THOMAS, ONTARIO  
TITLE: **CONSTRUCTION SCHEDULE**

SHEET No. **11 OF 11**

**LOT GRADING PLAN**  
of all of **LOT 17**  
**PLAN 11M-250**  
in the  
**CITY OF ST. THOMAS**  
COUNTY OF ELGIN  
Scale 1 : 300  
2021



**METRIC:** DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

FINISHED FLOOR = MAIN 0  
TOP OF FOUNDATION = MAIN 0  
UNDERSIDE OF FOOTING = MAIN 0  
DRIVEWAY ELEV. AT GARAGE ENTRANCE = 0  
DRIVEWAY SLOPE = 0%  
BASEMENT WINDOW SILL ELEV. = 0  
BASEMENT SLAB = 0  
0.00 (00") CUT TO FINISHED GARAGE FLOOR FROM TFDN MAIN  
0'00" FOUNDATION WALL ON 6" FOOTING (MAIN - 000)

W DENOTES WINDOW  
WW DENOTES WINDOW WELL  
ADD 200.000 TO OBTAIN  
GEODETIC ELEVATIONS

AREA of LOT = 381.981 Sq. m.  
AREA of DWELLING = 104.683 Sq. m. (27.41 %)  
AREA of GARAGE = 38.889 Sq. m. (10.18 %)  
AREA of PARKING = 38.649 Sq. m. (10.12 %)  
LANDSCAPED OPEN SPACE = 199.760 Sq. m. (52.30 %)

**NOTE**  
AIR CONDITIONING UNITS, WOOD DECKS AND PATIOS ARE OPTIONAL AND ARE SHOWN ON THIS PLAN FOR THE CONVENIENCE OF THE BUILDER. THEIR APPEARANCE ON THIS PLAN DOES NOT OBLIGATE THE BUILDER TO INCLUDE THEM IN CONSTRUCTION.

- PROPOSED ELEVATION
- DRAINAGE DIRECTION
- SWALE DIRECTION
- DRAINAGE BREAKLINE
- EXISTING ELEVATION
- OVERLAND FLOW ROUTE
- DEEPER USE REQUIRED

ZONED R3-42  
FRONTAGE = 12.200m  
Max. COVERAGE = 35%  
Mun. No. 14 WELCH COURT

BUILDER TO CONFIRM SANITARY PDC ELEVATION PRIOR TO POURING FOOTINGS

**ENGINEERS CERTIFICATE:**

I HEREBY CERTIFY THAT THE PROPOSED GRADING AND APPURTENANT DRAINAGE WORKS COMPLY WITH SOUND ENGINEERING DESIGN AND THAT THE PROPOSED GRADING IS IN GENERAL CONFORMITY FOR DRAINAGE AND RELATIVE ELEVATIONS, WITH THE ACCEPTED SUBDIVISION GRADING PLANS FILED WITH THE CITY ENGINEER OR ATTACHED TO THE SUBDIVISION AGREEMENT.

NOTE TO BUILDER: THIS CERTIFICATION DOES NOT INCLUDE THE INVESTIGATION OF ANY POTENTIAL UTILITY CONFLICTS WITHIN THE ROAD ALLOWANCE FRONTING AND/OR FLANKING THE SUBJECT LOT, OR THE LOCATION OF A DRIVEWAY CURB CUT IF APPLICABLE, AND IT IS IN THE INTEREST OF THE BUILDER TO CONFIRM UTILITY AND DRIVEWAY LOCATIONS.

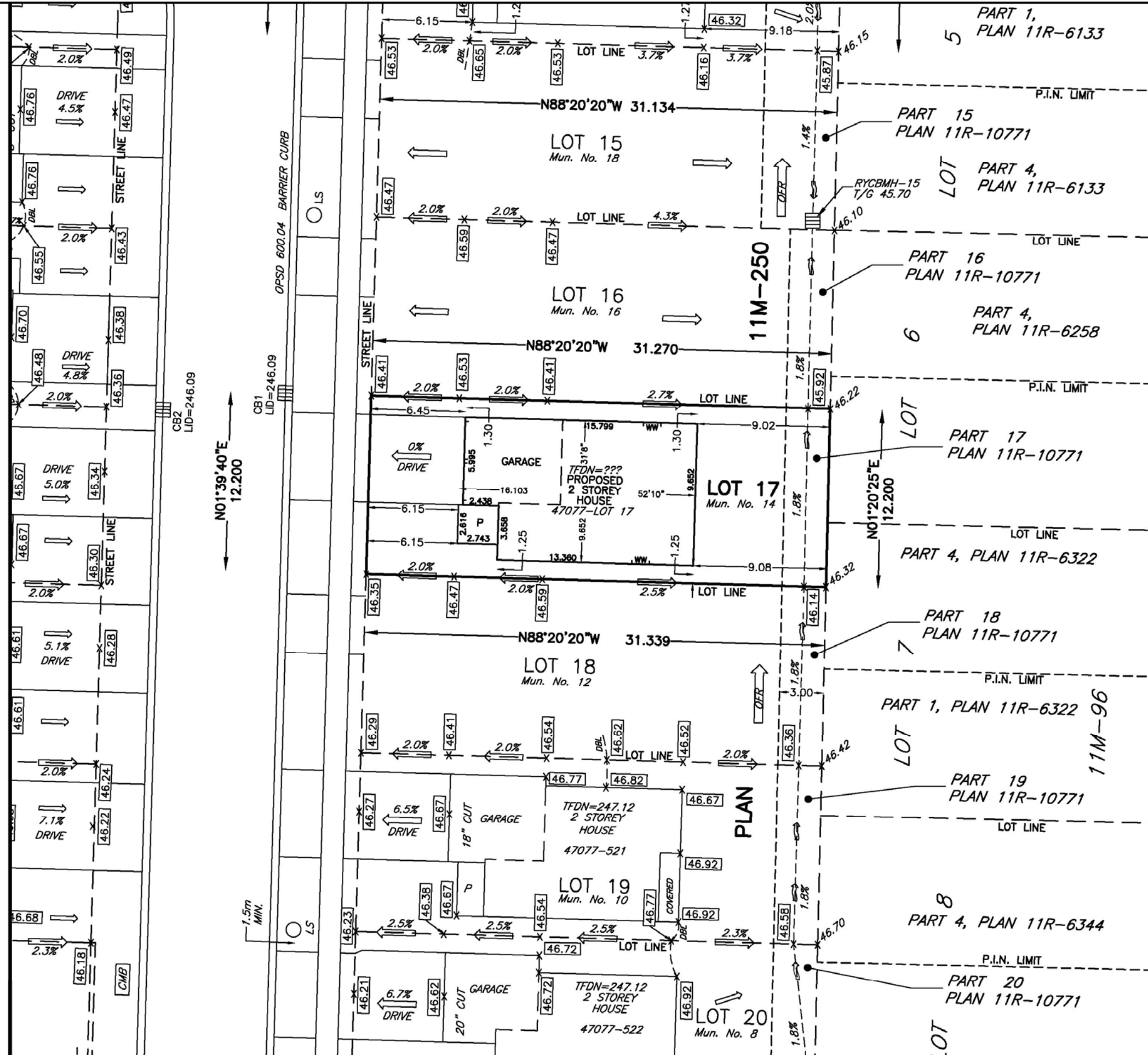



123 ST. GEORGE STREET  
LONDON, ONTARIO, N6A 3A1  
TEL: (519) 204-6510 FAX: (519) 204-6511

Builder : PALUMBO HOMES LTD.

Drawn By : RJC Checked By : AS

Date : DEC. 2, 2021 MTE File No : 47077-LOT17



 <p><b>The Corporation of the City of St. Thoma</b></p>	<p><b>Report No.:</b> COA03-2022</p>
	<p><b>Applicant:</b> Palumbo Developments Inc.</p>
<p>Members of the Committee of Adjustment</p>	<p><b>Report Date:</b> February 9, 2022  <b>Meeting Date:</b> February 24, 2022</p>
<p><b>Location:</b> 14 Welch Court, Plan 11M250, Lot 17</p>	
<p><b>Subject:</b> Request for a minor variance pursuant to 45(1) of the Planning Act, R.S.O, as amended</p>	
<p><b>Department:</b> Planning and Building Services Department  <b>Prepared by:</b> Steve Craig, Senior Planning Technician</p>	<p><b>Attachments:</b> Location Plan</p>
<p><b>Recommendation:</b></p> <p><b>That:</b> Report COA03-2022 be received.</p>	

**BACKGROUND:**

The applicant is proposing to construct a single detached dwelling on the subject lands, as shown on the plans accompanying the subject application.

**REQUESTED VARIANCE:**

- (i) To permit a maximum lot coverage of 38%, whereas the Zoning By-law permit a maximum lot coverage of 35% (Table 1 to Subsection 7.4, Item Number 5, and Column).

**OFFICIAL PLAN:**

- The subject lands are within the Residential designation as shown on Schedule A (Land Use Plan) to the Official Plan for the City of St. Thomas.
- The "Residential" designation means the predominant use of land shall be for low, medium, and high-density residential use (5.1.3.1).

**ZONING BY-LAW:**

- The subject lands are within the Third Residential Zone (R3-42) pursuant to the City of St. Thomas Zoning By-Law No. 50-88, as shown on Zoning Map 18.
- Permitted uses of the R3-42 zone include a single detached dwelling and uses accessory to the foregoing (7.1(a)(q)).
- The requirements and setbacks for a single detached dwelling include (Table 1, Subsection 7.4, Column 2):
  - minimum lot area - 371.5m<sup>2</sup>;
  - minimum lot frontage - 12m;
  - maximum main building height - 11m;

**Location Plan**



maximum accessory building height - 4m;  
 maximum lot coverage - 35%;  
 maximum floor area of an enclosed accessory building - the lesser of 15% of the lot area or 67m<sup>2</sup>;  
 maximum number of dwelling units - 1 per lot;  
 maximum roof area - 50%;  
 minimum front yard depth - 6m;  
 minimum rear yard depth - 9m;  
 minimum interior side yard depth - 1m;  
 minimum exterior side yard depth - 4m;  
 minimum ground floor area - 1 storey dwelling 74m<sup>2</sup>; and  
 minimum number of parking spaces - 1 parking space per dwelling unit.

- Lot coverage means the combined area of all buildings or structures on a lot measured at the level of the lowest floor above grade in relation to the area of the lot expressed as a percentage and includes the area of any of the following which have a roof and are enclosed on all sides: a porch, breezeway, pool, patio, deck or carport but excludes the area of any steps, cornices, eaves, bay windows, chimney breasts, corbelling and similar projections and also excludes the area of any terrace, patio, pool or deck, porch, breezeway or carport which are not enclosed on all sides (1.68).

#### **LEGISLATIVE FRAMEWORK FOR A MINOR VARIANCE:**

In considering this application, the Committee must have regard to the following criteria and determine whether:

- The general intent and purpose of the Official Plan will be maintained;
- The general intent and purpose of the Zoning By-Law will be maintained;
- The variance is desirable for the appropriate development or use of the land, building or structure; and
- The variance is minor in nature.

#### **COMMENTS:**

- The applicant is proposing to construct a single detached dwelling on the subject lands, aside from a 3% (8.7sqm) increase in lot coverage the proposed development of the lot conforms with the City of St. Thomas Zoning By-law.
- In Staff's opinion the proposed variance meets the general intent and purpose of the Official Plan, Zoning By-law, is minor in nature, and is desirable and appropriate for the use of the lands, thereby satisfying the four tests, as set out in Section 45 of the Planning Act. Therefore, planning staff recommend that minor variance application COA03-2022 be approved.
- Should the Committee of Adjustment approve Minor Variance Application COA03-2022, the decision should reflect that the Committee is approving a maximum lot coverage of 38%.

Respectfully submitted,

  
 Steve Craig  
 Senior Planning



## CONFIRMATION OF AN APPLICATION FOR MINOR VARIANCE

---

January 24, 2022

Secretary-Treasurer, Committee of Adjustment  
Attention: Jon Hindley

Pursuant to By-Law 30-2015, a consultation meeting was held on December 8, 2021 with Planning staff and the applicant.

An application for a minor variance, regarding 41 Honey Bend, was filed on January 21, 2022 and the required fee under Section 69 of the Planning Act has been provided.

Please contact the Planning & Building Services Department if you have any questions.

Regards,



Jim McCoomb, MCIP, RPP  
Manager of Planning Services





Clear Form

**CORPORATION OF THE CITY OF ST THOMAS  
COMMITTEE OF ADJUSTMENT**

**APPLICATION FOR MINOR VARIANCE OR FOR PERMISSION**  
(Section 45 of the Planning Act, RSO, 1990, as amended)

OFFICE USE:	Date Application Received: <u>January 21/22</u>	Consultation Date: <u>December 8/21</u>
	Date Application Deemed Complete: <u>January 24/22</u>	

Application #: A04/22

APPLICATION IS HEREBY MADE TO:

City of St. Thomas  
545 Talbot Street  
St. Thomas ON N5P 3V7  
Tel: (519) 631-1680 ext 4125 Fax: (519) 633-9019  
Email: [jhindley@stthomas.ca](mailto:jhindley@stthomas.ca)

Please note that in accordance with By-Law 30-2015, consultation with the Planning and Building Services Department must take place prior to the submission of an application. After consultation, the application will be filed with the Assistant Secretary-Treasurer, together with the sketch referred to in Note 1 and \$400 made payable to the City of St. Thomas. All information and materials submitted for the application shall be made available to the public, as indicated by Section 1.0.1 of the Planning Act, R.S.O. 1990.

Personal information contained on this form is collected under the authority of the Planning Act, R.S.O. 1990, as amended, and Ontario Regulation 200/96 and will be used for the purpose of processing this application.

1. Name of Owner(s) Steve & Amanda MacLeodAddress 41 Honey BendPostal Code N5R 0H7 Tel: 905-658-2823 e-mail: macleod\_steven@hotmail.com

2. Name of Authorized Agent (if any) \_\_\_\_\_

Address \_\_\_\_\_

Postal Code \_\_\_\_\_ Tel: \_\_\_\_\_ e-mail: \_\_\_\_\_

Note: Please specify to whom all communications should be sent: Owner  Agent 

3. Nature and extent of relief from the Zoning By-law applied for:

To permit a deck 1.58m from the rear lot line, whereas the Zoning By-law requires a setback of 4.5m from the rear lot line.

4. Reason why the proposed use cannot comply with the provisions of the Zoning By-law:

The deck was constructed to the current size to accommodate our patio dining set, lounge chairs, BBQ, and additional outdoor seating.The location of the deck was chosen as we didn't want to build the deck in front of any of the exhaust vents which are located south of the current location.

5. Location of Land:

Concession No. \_\_\_\_\_ Lot(s) \_\_\_\_\_ Registered Plan No. \_\_\_\_\_ Lot(s) \_\_\_\_\_

Reference Plan No. \_\_\_\_\_ Part(s) \_\_\_\_\_

Geographic/Former Township \_\_\_\_\_

Name of Street Honey Bend Street No. 41

6. Dimensions of land affected:

Frontage 14.58m Depth 35m

Area 510.3 sqm Width of Street 20m

7. Access to the subject land is by:

- a Regional Road  a private road  
 a Municipal road that is maintained all year  
 a Municipal road that is maintained seasonally

8. Particulars of all buildings and structures on or proposed for the subject land (Specify ground floor area, gross floor area, number of storeys, width, length, height). Please specify use of existing structures.

Existing:

Existing 1 Storey Brick and Frame Dwelling

USE Residential

Proposed:

Proposed detached floating deck at the rear of the house. The deck will consist of two levels @ 16' x 18'

Total occupied area = 576 sq-ft.

9. Location of all buildings and structures on or proposed for the subject land (Specify distance from side, rear and front lot lines). Please specify use of proposed structure.

Existing:

See attached site plan

Proposed:

See attached site plan

USE Residential

10. Date of acquisition of subject land: August 14, 2020

11. Date of construction of all buildings and structures on subject land: January 2020

12. Existing uses of the subject land:

Residential

13. Existing uses of abutting lands:  
 North: Single family detached house East: Municipal Road - Honey Bend  
 South: Single family detached house West: Single family detached house
14. Length of time the existing uses of the subject land have continued:  
2 years
15. Services available (check appropriate space or spaces):  
Water:  
 Municipally owned and operated piped water system Other (Specify) \_\_\_\_\_  
Sewage Disposal:  
 Municipally owned and operated sanitary sewer system Other (Specify) \_\_\_\_\_  
Storm Drainage  
 Storm sewers Other (Specify) \_\_\_\_\_
16. Present Official Plan designation of the subject land:  
Residential
17. Present Zoning of the subject land:  
R3A-26
18. Has the owner previously applied for relief (minor variance) under Section 45 of the Act in respect of the subject property?  
 yes  no   
 If the answer is yes, describe briefly (and if known, quote Application #)  
 \_\_\_\_\_
19. Is the subject property the subject of a current application for a consent under Section 53 or a plan of subdivision under Section 51 of the Planning Act, 1990?  
 yes  no  If so, state Application # and status \_\_\_\_\_

APPLICANT DECLARATION

By making this application, permission is hereby granted to any Municipal staff members and Municipal Planning Consultant to enter upon the premises described in this application at a reasonable time for the purpose of inspecting the property in relation to the proposed application and for distributing information concerning the same. This information is being collected pursuant to the Planning Act, Municipal Act, and Freedom of Information Act. The information contained herein will be distributed to bodies and agencies prescribed by legislation and regulation and also to interested parties.

If this application is signed by an agent or solicitor on behalf of an applicant, the owner's written authorization must accompany the application (**Appendix A**). If the applicant is a corporation acting without an agent or solicitor, the application must be signed by an officer of the corporation and the corporation's seal (if any) must be affixed.

MUNICIPAL FREEDOM OF INFORMATION AND PROTECTION OF PRIVACY ACT

Application information is collected under the authority of the Planning Act, R.S.O. 1990, c.P.13. In accordance with that Act, it is the policy of the City of St. Thomas to provide public access to all Planning Act applications and supporting documentation submitted to the City.

I Steve MacLeod, the Owner or Authorized Agent, hereby agree and acknowledge  
*(Print name of Owner or Authorized Agent)*  
that the information contained in this application and any documentation, including reports, studies and drawings, provided in support of the application, by myself, my agents, consultants and solicitors, constitutes public information and will become part of the public record. As such, and in accordance with the provisions of the *Municipal Freedom of Information and Protection of Privacy Act*, R.S.O. 1990, c.M. 56, I hereby consent to the City of St. Thomas making this application and its supporting documentation available to the general public, including copying and disclosing the application and its supporting documentation to any third party upon their request.

**Collection of Personal Information:**  
Personal information on this form is collected under the authority of Section 41 of the *Planning Act*, R.S.O. 1990 and Sections 8 (1) and 10 of the *Municipal Act*, 2001, as amended, and will be used to contact the owner, applicant and/or agent regarding the Committee of Adjustment Application. Questions about this collection should be directed to the City Clerk, 545 Talbot Street, St. Thomas, Ontario, N5P 2T9 (519) 631-1680.

AFFIDAVIT OR SWORN DECLARATION

I Steve MacLeod of St Thomas in the province of Ontario  
name of applicant City

make oath and say (or solemnly declare) that the information required under Schedule 1 of Ontario Regulation 545/06 and provided by the applicant in this application is accurate, and that  
y this application is accurate.

I this 08 day of December, 2021  
Day Month Year

December 08, 2021  
Date

[Signature]  
Signature of Commissioner of Oaths, etc.

2022/01/21  
Date

APPENDIX A – AUTHORIZATION OF OWNER

If the applicant is not the owner of the subject lands, please complete the owner authorization concerning personal information as set out below.

I, Ananda MacLeod, am the owner of the subject lands, and I authorize Steve MacLeod, to act on our behalf as the agent for the submissions required for all matters relating to the subject lands, and to provide any of my personal information that will be included in this application or collected during the planning process.

01-01-2022  
Date

  
Signature of Owner

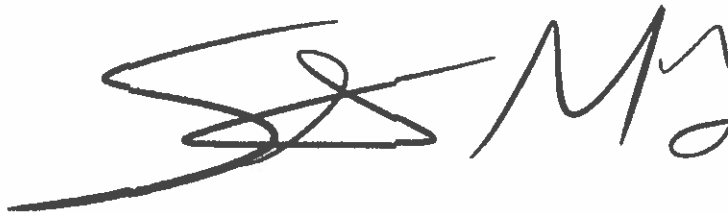
APPENDIX B – ACKNOWLEDGEMENT OF LEGAL AND PLANNING FEES

In addition to the application fees listed in this application package, please note that where the City requires assistance from its solicitors or other technical or professional consultants in the processing of this application, the applicant shall be responsible for reimbursing all fees incurred by the City.

**\*Please note, Appendix B must be completed by the owner, not the authorized agent.**

I, Steve MacLeod, am the owner of the subject lands, and I understand that further fees may be incurred by responsible for reimbursing all fees.

December 08, 2021  
Date



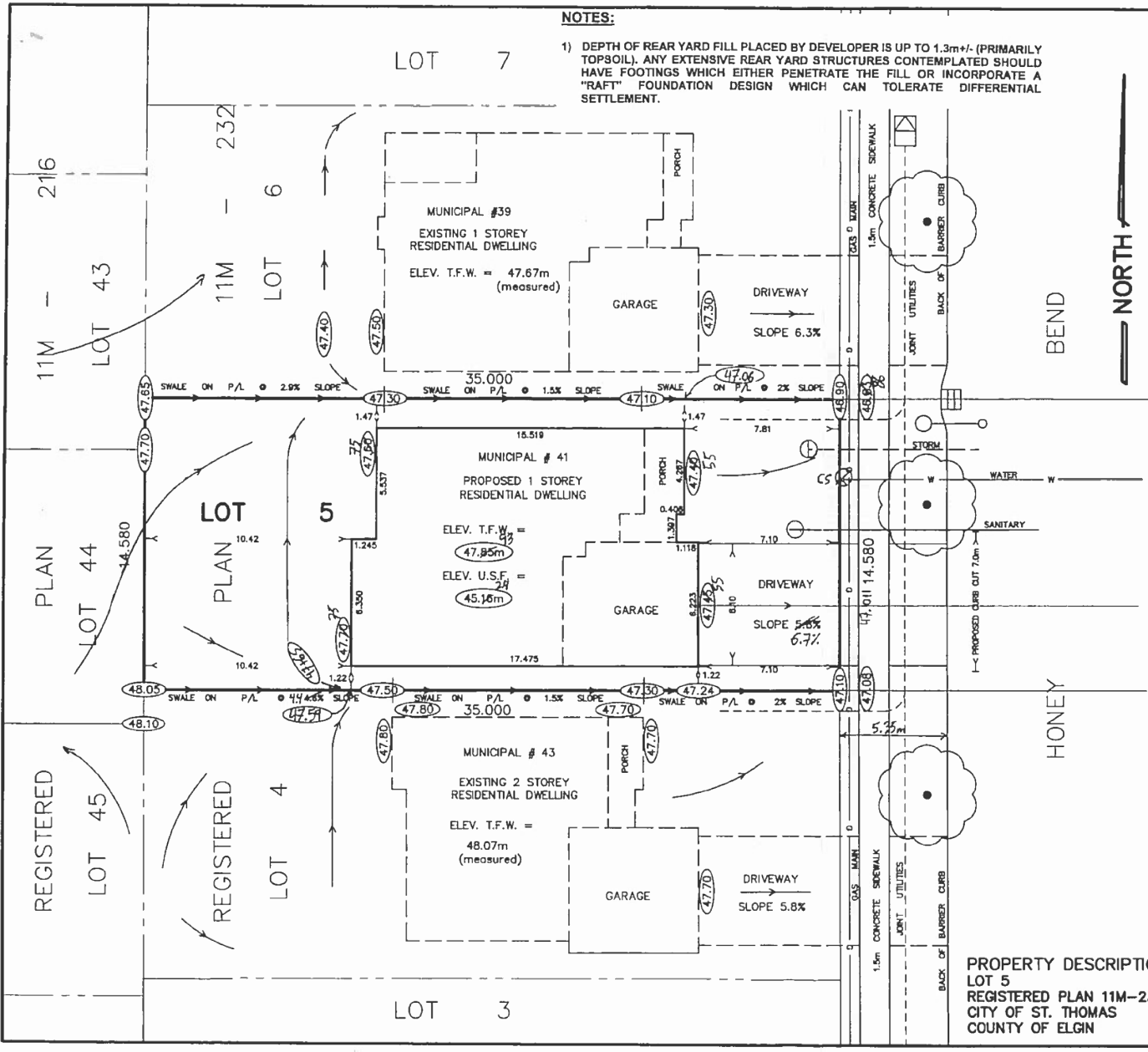


**NOTES:**

1. Each copy of this application must be accompanied by a Sketch. The Sketch need not necessarily be to scale, but dimensions must be accurate, and showing the following:
  - (a) The boundaries and dimensions of the subject land;
  - (b) The location, size and type of all existing and proposed buildings and structures on the subject land, indicating the distance of the buildings or structures from the front yard lot line, rear yard lot line and the side yard lot lines;
  - (c) The approximate location of all natural and artificial features on the subject land and on land that is adjacent to the subject land that, in the opinion of the applicant, may affect the application. Examples include buildings, driveways, swimming pools, roads, railways, drainage ditches, wells, septic tank and tile bed, and trees;
  - (d) The current uses on land that is adjacent to the subject land;
  - (e) The location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public traveled road, a private road or a right-of-way;
  - (f) If access to the subject land is by water only, the location of the parking and docking facilities to be used;
  - (g) The location and nature of any restrictive covenant or easement affecting the subject land;
2. The Committee of Adjustment may require that a preliminary drawing be prepared, signed and dated by an Ontario Land Surveyor.
3. If this application is signed by an agent or solicitor on behalf of an applicant, the owner's written authorization must accompany the application. If the applicant is a corporation acting without agent or solicitor, the application must be signed by an officer of the corporation and the corporation's seal (if any) must be affixed.

**NOTES:**

1) DEPTH OF REAR YARD FILL PLACED BY DEVELOPER IS UP TO 1.3m +/- (PRIMARYLY TOPSOIL). ANY EXTENSIVE REAR YARD STRUCTURES CONTEMPLATED SHOULD HAVE FOOTINGS WHICH EITHER PENETRATE THE FILL OR INCORPORATE A "RAFT" FOUNDATION DESIGN WHICH CAN TOLERATE DIFFERENTIAL SETTLEMENT.



**SKETCH**

1720 PC-1

PREPARED FOR BUILDING PERMIT APPLICATION  
FOR: HAYHOE HOMES  
HARVEST RUN PHASE 2A STAGE 1  
KNOWN MUNICIPALLY AS # 41 HONEY BEND

SCALE 1:200



**METRIC**

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

APPROVED BY

CJDL CONSULTING ENGINEERS

DEREN LYLE, P.ENG.

NAME

SIGNATURE

DATE DECEMBER 5, 2019

NOTE: DISTANCE FROM T.F.W. TO U.S.F. = 2.69m OR 8'-10"

**CAUTION**

THIS IS NOT A PLAN OF SURVEY OR SURVEYOR'S REPORT AND SHALL NOT BE USED FOR TRANSACTION OR FINANCING PURPOSES

**NOTES**

- AREA OF LOT 5 = 510.3 SQUARE METRES
- DWELLING AREA (EXCLUDING PORCH) = 142.1 SQUARE METRES
- DWELLING COVERAGE = 27.8 %
- GARAGE AREA = 41.5 SQUARE METRES
- GARAGE COVERAGE = 8.1 %
- ADD 200.00m TO ELEVATIONS SHOWN HEREON TO OBTAIN GEOODETIC DATUM
- T.F.W. DENOTES TOP OF FOUNDATION WALL
- U.S.F. DENOTES UNDER SIDE OF FOOTING
- ○ DENOTES PROPOSED TREE
- 47.55 DENOTES PROPOSED FINISHED GRADE
- P/L DENOTES PROPERTY LINE
- ○ DENOTES LIGHT STANDARD
- □ DENOTES CATCH BASIN
- □ DENOTES TRANSFORMER

© COPYRIGHT 2019 KIM HUSTED SURVEYING LTD.

THE REPRODUCTION, ALTERATION, OR USE OF THIS REPORT IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF KIM HUSTED SURVEYING LTD. IS STRICTLY PROHIBITED

**KIM HUSTED SURVEYING LTD.**  
ONTARIO LAND SURVEYOR  
30 HARVEY STREET, TILLSONBURG, ONTARIO, N4G 3J8  
PHONE: 519-842-3638 FAX: 519-842-3639

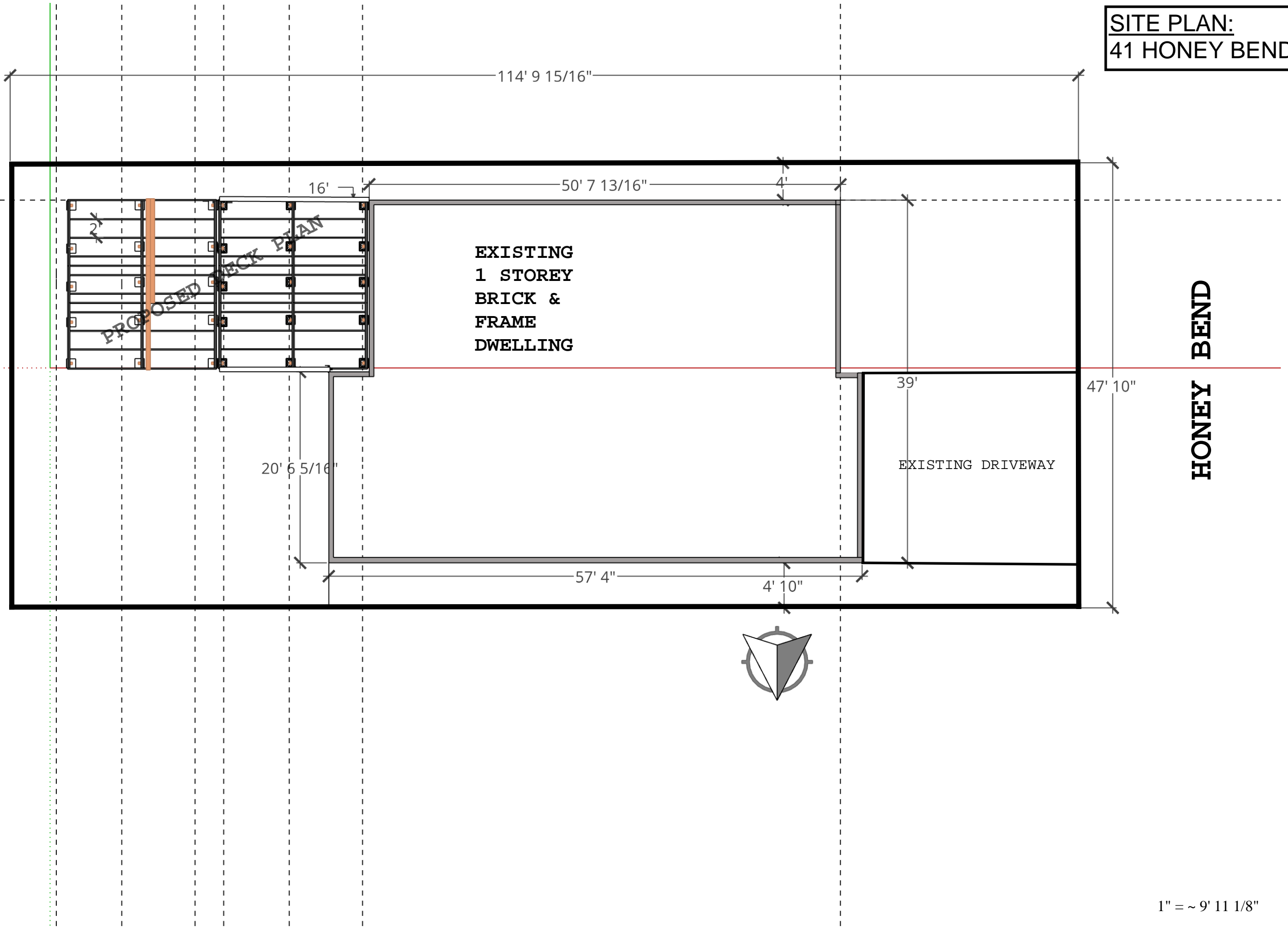
PROPERTY DESCRIPTION:  
LOT 5  
REGISTERED PLAN 11M-232  
CITY OF ST. THOMAS  
COUNTY OF ELGIN

PROJECT: 19-15458

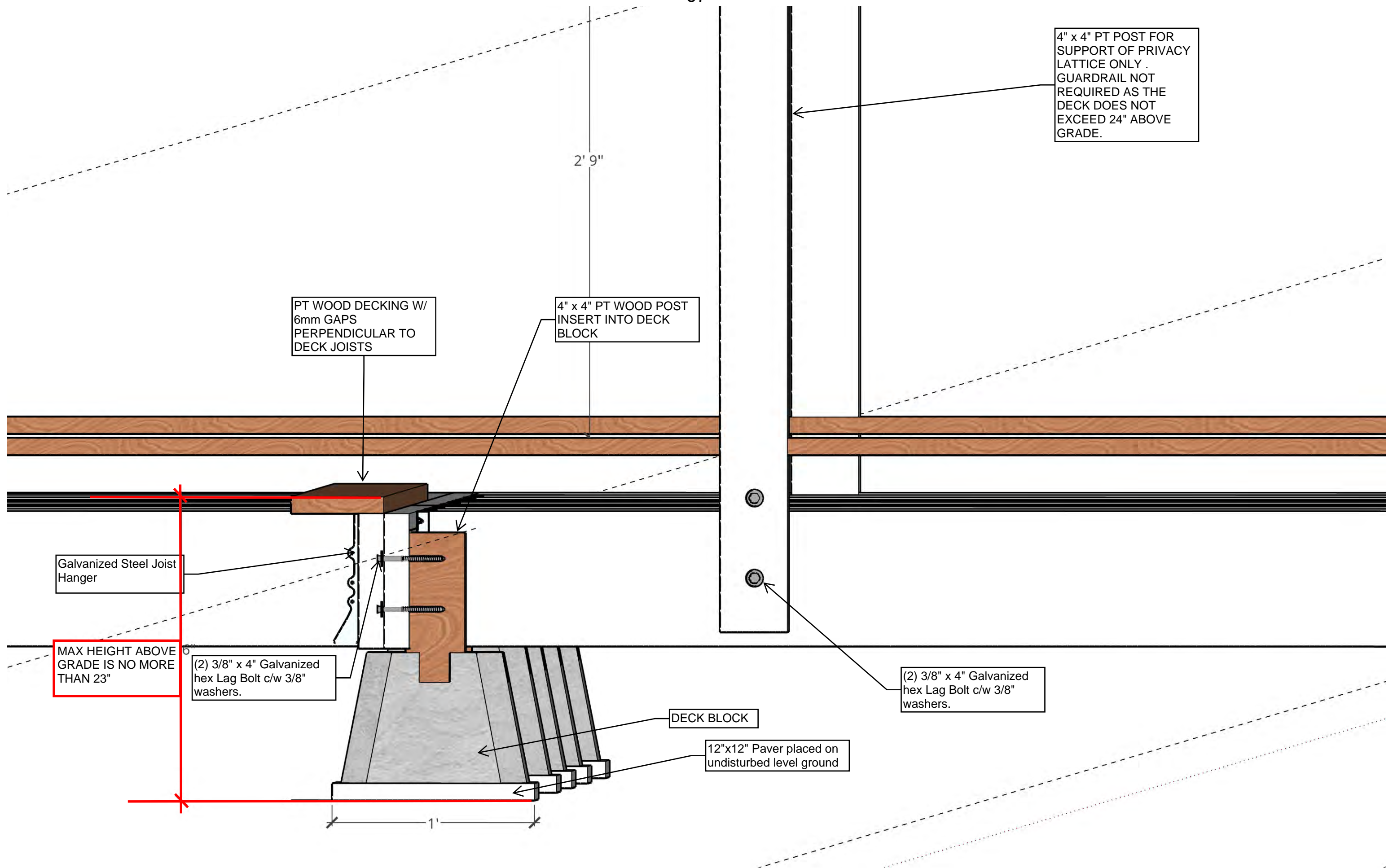
REFERENCE: FILE

11 of 11

**SITE PLAN:  
41 HONEY BEND**



**HONEY BEND**



4" x 4" PT POST FOR SUPPORT OF PRIVACY LATTICE ONLY . GUARDRAIL NOT REQUIRED AS THE DECK DOES NOT EXCEED 24" ABOVE GRADE.

PT WOOD DECKING W/ 6mm GAPS PERPENDICULAR TO DECK JOISTS

4" x 4" PT WOOD POST INSERT INTO DECK BLOCK

Galvanized Steel Joist Hanger

MAX HEIGHT ABOVE GRADE IS NO MORE THAN 23"

(2) 3/8" x 4" Galvanized hex Lag Bolt c/w 3/8" washers.

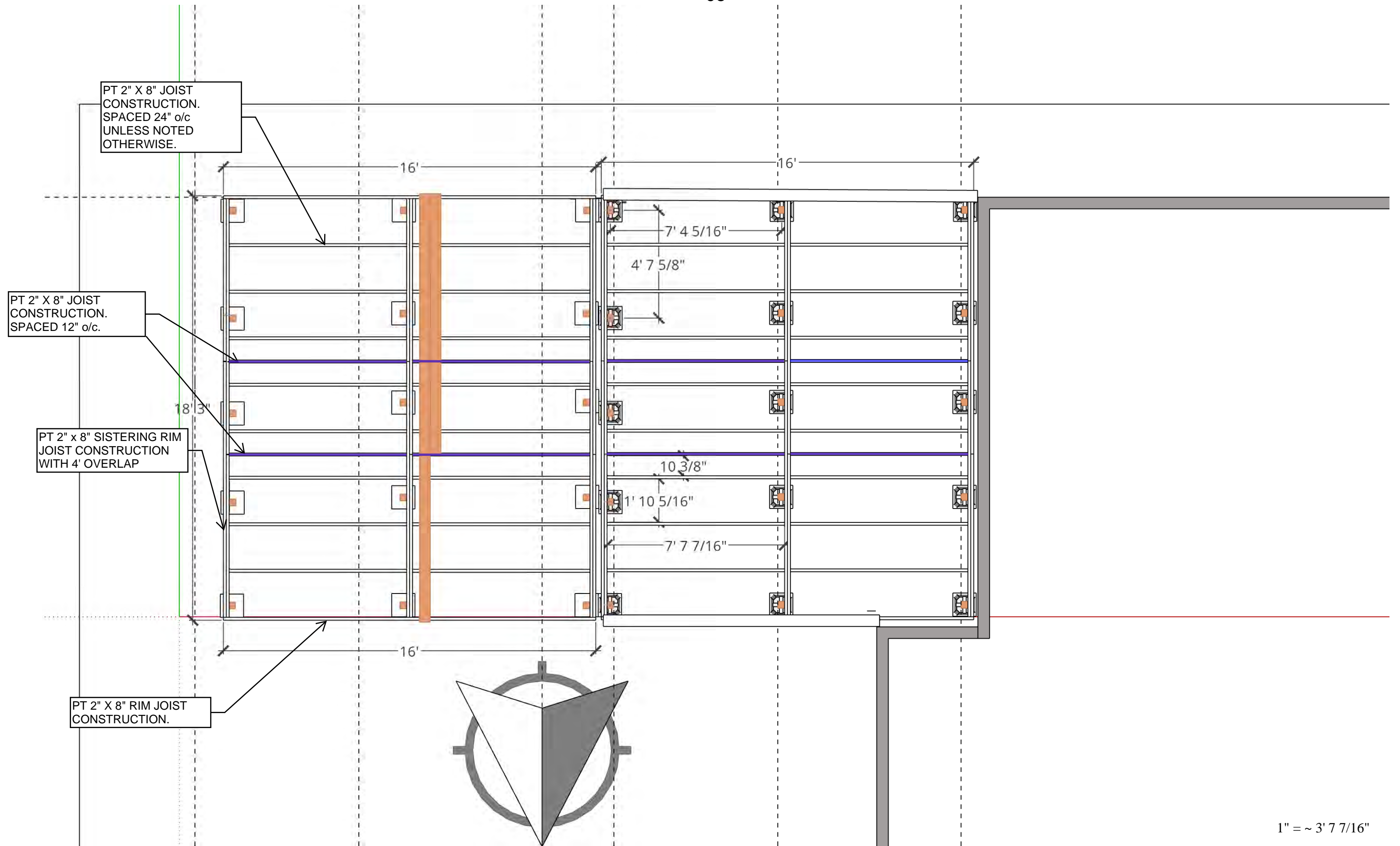
DECK BLOCK

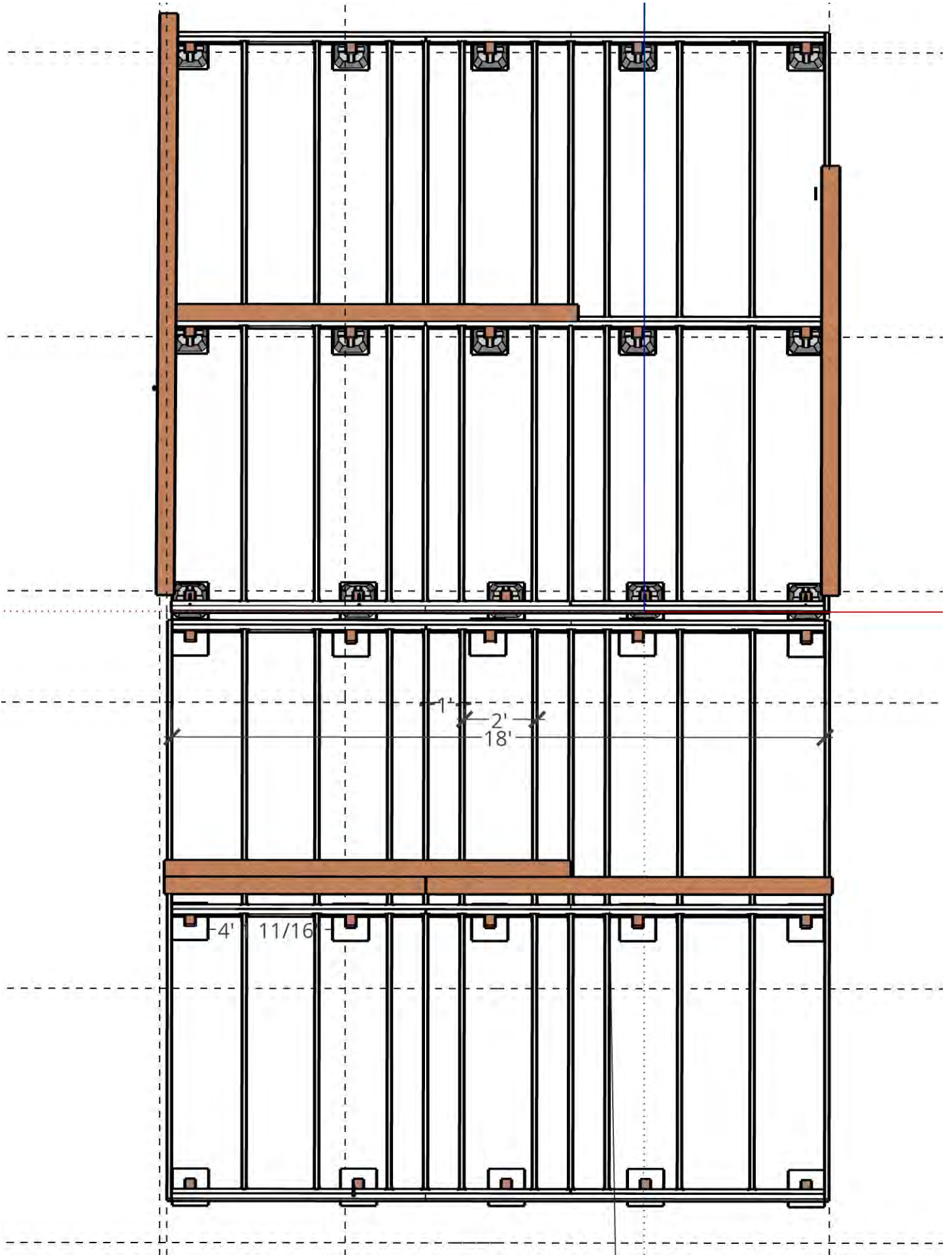
12"x12" Paver placed on undisturbed level ground

(2) 3/8" x 4" Galvanized hex Lag Bolt c/w 3/8" washers.

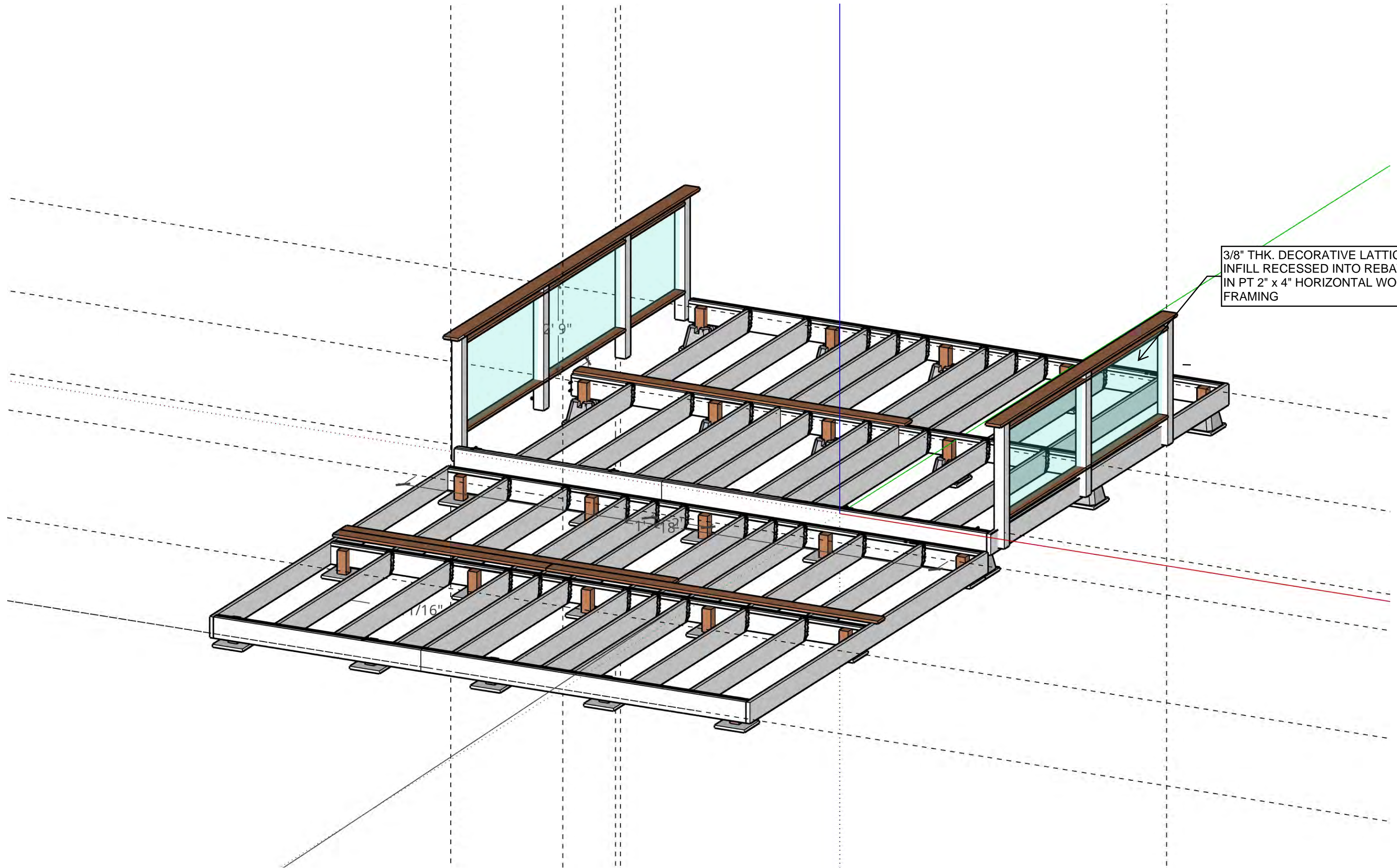
2' 9"

1"


























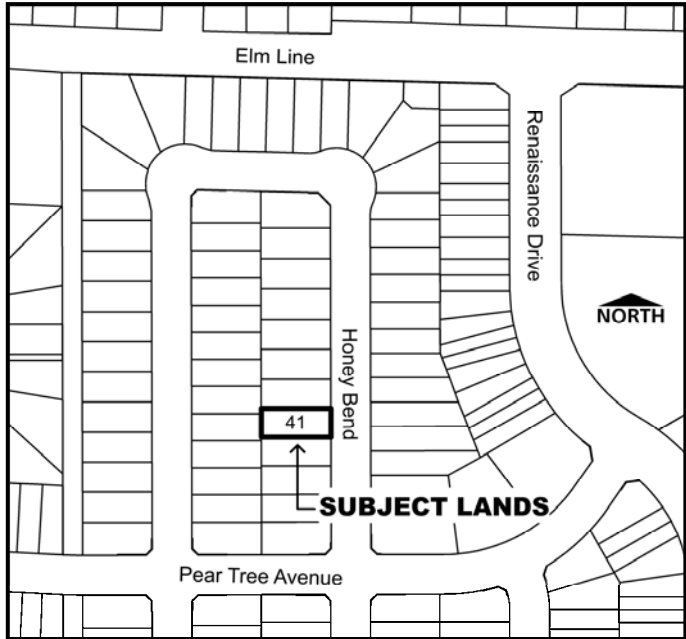






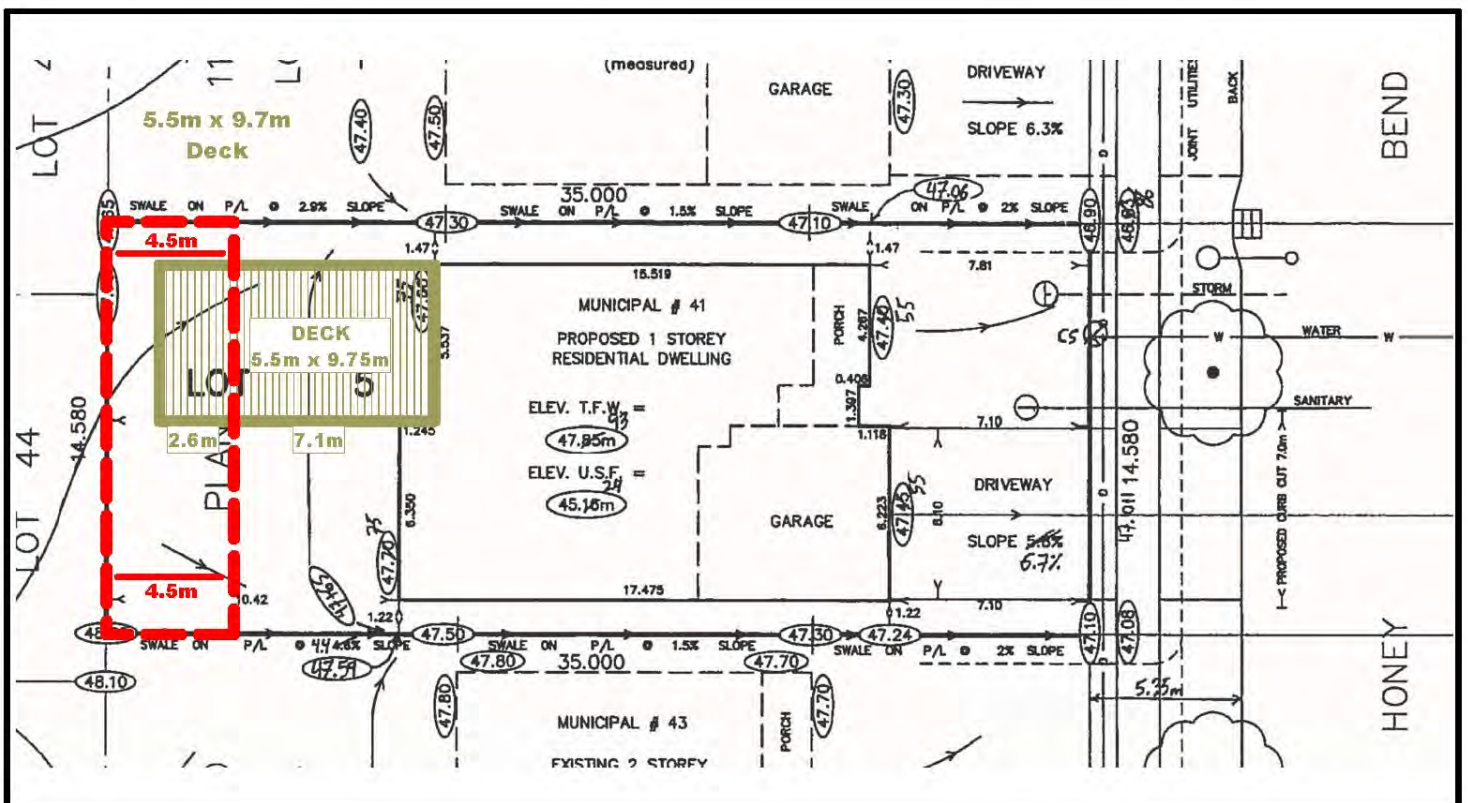




 <p><b>The Corporation of the City of St. Thomas</b></p>	<p><b>Report No.:</b> COA04-2022</p>
<p>Members of the Committee of Adjustment</p>	<p><b>Applicant:</b> Steve and Amanda MacLeod</p> <p><b>Report Date:</b> February 9, 2022  <b>Meeting Date:</b> February 24, 2022</p>
<p><b>Location:</b> 41 Honey Bend, Plan 11M-232, Lot 5</p>	
<p><b>Subject:</b> Request for a minor variance pursuant to 45(1) of the Planning Act, R.S.O, as amended</p>	
<p><b>Department:</b> Planning and Building Services Department  <b>Prepared by:</b> Steve Craig, Senior Planning Technician</p>	<p><b>Attachments:</b> Location Plan and Lot Development Plan</p>
<p><b>Recommendation:</b></p> <p><b>That:</b> Report COA04-2022 be received.</p>	
<p><b>BACKGROUND:</b></p> <p>The applicants are requesting the Committee of Adjustment permit an existing non-conforming deck located in the rear yard, as shown on the plans accompanying the subject application.</p> <p><b>REQUESTED VARIANCE:</b></p> <p>(i) To permit a deck 1.58m from the rear lot line, whereas the R3A-26 zone requires a deck to be setback a minimum of 4.5m from the rear lot line. (Table 1 to Subsection 7A.4, Column Number 2, Item Number 10, requires a minimum rear yard depth of 7m. Subsection 4.2.2 of the General Provisions Applicable to Residential zones permits a deck, stoop, steps, or porch which is covered or uncovered, and not wholly or partially enclosed to project into a required rear yard up to a maximum of 2.5m.).</p> <p><b>OFFICIAL PLAN:</b></p> <ul style="list-style-type: none"> <li>• The subject lands are within the Residential designation as shown on Schedule A (Land Use Plan) to the Official Plan for the City of St. Thomas.</li> <li>• The "Residential" designation means the predominant use of land shall be for low, medium, and high-density residential use (5.1.3.1).</li> <li>• Wherever a use is permitted in a land use classification, it is intended that uses, buildings or structures normally incidental, accessory, and essential to that use are also permitted (11.2.1).</li> </ul>	<p><b>Location Plan</b></p> 

**ZONING BY-LAW:**

- The subject lands are located within the Third Residential Zone (R3A-26), as shown on Zoning Map 51, pursuant to the City of St. Thomas Zoning By-Law No. 50-88, as amended.
- Permitted uses of the Third R3A-26 Zone include a single detached dwelling and uses accessory to the foregoing (7.1(a)(q)).
- The requirements and setbacks for a single detached dwelling in the Third Residential Zone (R3A-26) include (Table 1 to Subsection 7A.4):
  - minimum lot area - 371.5m<sup>2</sup>;
  - minimum lot frontage - 12m;
  - maximum main building height - 11m;
  - maximum accessory building height - 4m;
  - maximum lot coverage - 35% (excluding garages attached or detached) and 11% for an attached or detached garage provided the maximum floor area does not exceed:
    - 37m<sup>2</sup> for a one car garage
    - 58m<sup>2</sup> for a two-car garage
    - 88m<sup>2</sup> for a three-car garage
  - maximum number of dwelling units - 1 per lot;
  - maximum roof area - 50%;
  - minimum front yard depth - 6m to the main building and 7m to the garage;
  - minimum rear yard depth - 7m;
  - minimum interior side yard depth - 1m and 3.2m where no garage exists within the interior side yard;
  - minimum exterior side yard depth - 4m;
  - minimum ground floor area - 1 storey 74m<sup>2</sup>, 1 & ½ storey 60m<sup>2</sup> and 2 or more storey 42m<sup>2</sup>; and
  - minimum number of parking spaces - 1 per dwelling unit.
- The General Provisions Applicable to Residential Zones of the Zoning By-Law permit a deck, stoop, steps, or porch which is covered or uncovered, and not wholly or partially enclosed to project into a required rear yard up to a maximum of 2.5m (4.2.2).

**Lot Development Plan**

**LEGISLATIVE FRAMEWORK FOR A MINOR VARIANCE:**

In considering this application, the Committee must have regard to the following criteria and determine whether:

- The general intent and purpose of the Official Plan will be maintained;
- The general intent and purpose of the Zoning By-Law will be maintained;
- The variance is desirable for the appropriate development or use of the land, building or structure; and
- The variance is minor in nature.

**COMMENTS:**

- The owners recently completed the construction of a deck in their rear yard without the benefit of a building permit, upon the submission of a permit the zoning review revealed that the deck does not conform with the Zoning By-law, as a result the applicants are requesting a variance to bring the deck into conformity with the Zoning By-law.
- The General Provisions of the Zoning By-law permit a patio constructed at grade (i.e. Concrete patio) in a required interior side yard and required rear yard, however a deck constructed above grade in a rear yard requires a minimum setback of 1m from an interior side lot line, 4m from an exterior side lot line and 4.5m from a rear lot line.
- The purpose of requiring setbacks for decks constructed above grade in a rear yard is to maintain privacy between neighbours and limit adverse impacts associated with elevated decks, the setbacks also maintain area in the back yard for drainage purposes, amenity space, and landscape/open space.
- The portion of the deck (2.6m) encroaching into the 4m rear yard setback is approximately 15.25cm (6 inches) above grade, resulting in no adverse impacts to the subject lands and neighbouring properties. Aside from the deficient rear yard setback the deck conforms with the City of St. Thomas Zoning By-law.
- In Staff's opinion the proposed variance meets the general intent and purpose of the Official Plan, Zoning By-law, is minor in nature, and is desirable and appropriate for the use of the lands, thereby satisfying the four tests, as set out in Section 45 of the Planning Act. Therefore, planning staff recommend that minor variance application COA04-2022 be approved.
- Should the Committee of Adjustment approve Minor Variance Application COA04-2022, the decision should reflect that the Committee is approving a deck a minimum of 1.58m from the rear lot line, as shown on the site plan accompanying the application.

Respectfully submitted,



Steve Craig  
Senior Planning Technician