

A G E N D A

**THE FOURTH MEETING OF THE COMMITTEE OF ADJUSTMENT
OF THE CITY OF ST. THOMAS 2022**

TELECONFERENCE

10:00 A.M.

**THURSDAY
MARCH 24, 2022**

DISCLOSURE OF INTEREST

MINUTES

Confirmation of the minutes of the meeting held on February 24, 2022.

HEARING OF APPLICATIONS

B01/22 - JEG Home Solutions Inc. - 30 South Edgeware Road **Pages 2-81**

B02/22 - JEG Home Solutions Inc. - 30 South Edgeware Road **Pages 82-92**

Planning Report - B01/22 and B02/22 **Pages 93-96**

A05/22 - Jean T. Celocia and Victoriano A. Celocia Jr. - 90 Fairview Avenue **Pages 97-110**

Planning Report - A05/22 **Pages 111-113**

A06/22 - 2735125 Ontario Inc. - 244-248 Talbot Street **Pages 114-154**

Planning Report - A06/22 **Pages 155-158**

A07/22 - Drawbuild Inc. - 21 Jessie Street **Pages 159-173**

Planning Report - A07/22 **Pages 174-175**

NEW BUSINESS

Next Meeting

To Be Determined.

ADJOURNMENT

FEB 23 2022

City Clerks Dept.

**CONFIRMATION OF A COMPLETE APPLICATION
APPLICATION FOR CONSENT**

February 22, 2022

Secretary-Treasurer, Committee of Adjustment
Attention: Jon Hindley

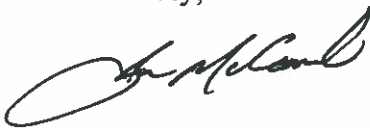
Pursuant to By-Law 30-2015, multiple consultation meetings were held with Planning Department Staff and the applicant (December 2020, March 2021 and July 2021).

An application for Consent, regarding 30 South Edgeware Road, was filed on February 16, 2022.

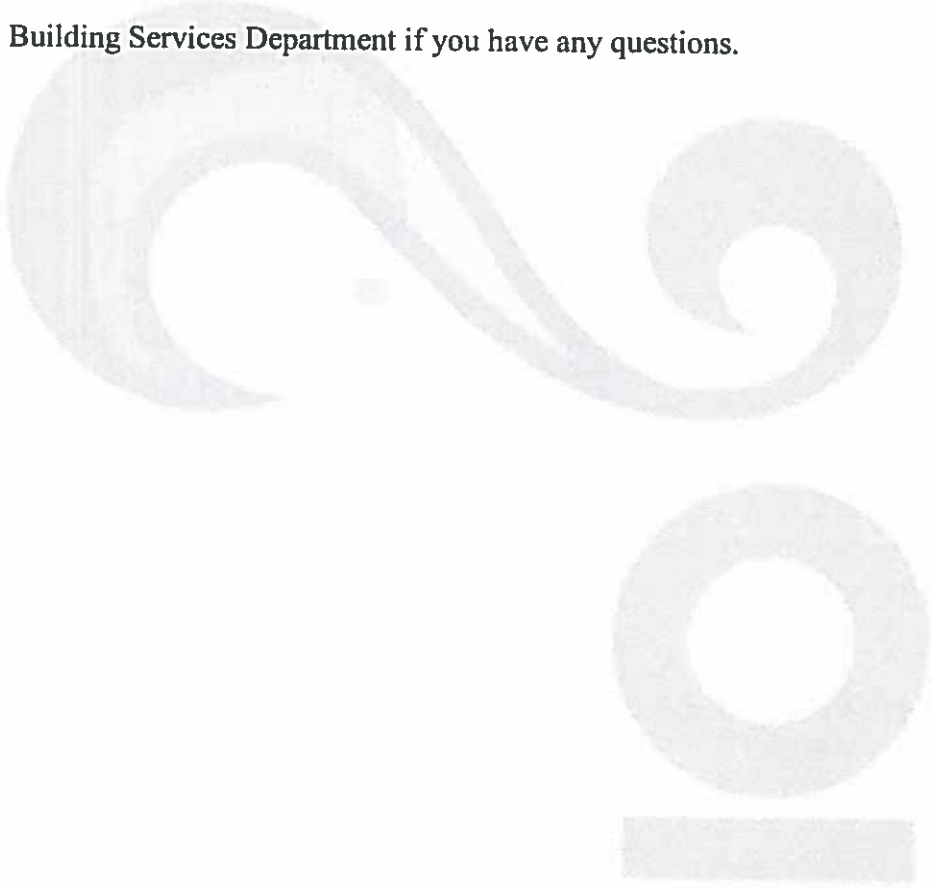
This letter is notice that the information and material required under Subsections 53(2) and 53(3) and the required fee under Section 69 of the Planning Act has been provided and the application for consent is thereby considered complete.

Please contact the Planning & Building Services Department if you have any questions.

Yours truly,



Jim McCoomb, MCIP, RPP
Manager of Planning Services





Clear Form

THE CORPORATION OF THE CITY OF ST THOMAS

COMMITTEE OF ADJUSTMENT

APPLICATION FOR CONSENT

OFFICE USE: Date Application Received: FEB 14 2022 Consultation Date: Dec 2020 / March + July 2021 Date Application Deemed Complete: Feb 22, 2022

Application #: B01/22

APPLICATION IS HEREBY MADE TO:

City of St. Thomas
545 Talbot Street
St. Thomas ON N5P 3V7
Tel: (519) 631-1680 ext 4125 Fax: (519) 633-9019
Email: jhindley@stthomas.ca

Please note that in accordance with By-Law 30-2015, consultation with the Planning and Building Services Department must take place prior to the submission of an application. After consultation, the application will be filed with the Assistant Secretary-Treasurer, together with the sketch referred to in Note 1 and \$450 made payable to the City of St. Thomas. All information and materials submitted for the application shall be made available to the public, as indicated by Section 1.0.1 of the Planning Act, R.S.O. 1990.

Personal information contained on this form is collected under the authority of the Planning Act, R.S.O. 1990, as amended, and Ontario Regulation 200/96 and will be used for the purpose of processing this application.

1. (a) Registered Owner(s): JEG Home Solutions Inc.

Mailing Address: 6508 Westdel Bourne, London

Postal Code: N6P 1P3 Telephone: 519-614-7870 Fax:

email: apatten@hotmail.com

(b) Owner's Solicitor or Authorized Agent (if any): Deren Lyle (CJDL Consulting Engineers)

Mailing Address: 261 Broadway, P.O. Box 460, Tillsonburg

Postal Code: N4G 4H8 Telephone: 519-688-1000 Fax: 519-842-3235

email: dlyle@cjd leng.com

(c) Please specify to whom all communications should be sent:

Owner [] Solicitor [] Agent [x]

2. (a) Type and purpose of proposed transaction: (Check appropriate space/s)

- [x] Creation of New Lot [] Disposal of Surplus Farm Dwelling
[] Addition to Lot [] Correction of Title
[] Mortgage or Charge [] Partial Discharge of Mortgage
[] Lease [] Right-of-way

Easement _____

(b) If a lot addition, identify the lands to which the parcel will be added:

Name of person(s), if known, to whom land or interest in land is intended to be transferred, charged or leased:

Alan Patten

3. Are there any existing easements or restrictive covenants affecting the land?

Yes No

If "Yes" describe the easement or covenant and its effect: _____

4. Location of land:

Municipality (City/Town/Township) City of St. Thomas

Concession No _____ Lot(s) Lot 5 Registered Plan No _____ Lot(s) _____

Reference Plan No _____ Part(s) Part 1

Name of Street South Edgeware Road Street No 30

5. Description of land to be severed: (in metric units) Part No. on sketch Lot 1

(a) Frontage 34.7m Depth 29.3m Area 1010 m2

(b) Existing Use Residential (R1) Proposed Use Residential (R3A)

(c) Existing and proposed buildings and structures on the subject land:

Existing: No Structures

Proposed: 3-Unit Townhouse Dwelling

6. Description of land to be retained: (in metric units) Part No. on sketch Retained

(a) Frontage 31.3m Depth 67.9m Area 2134 m2

(b) Existing Use Residential (R1) Proposed Use Residential (R1)

(c) Existing and proposed buildings and structures on the land to be retained:

Existing: Single Detached Dwelling

Proposed: Existing Single Detached Dwelling

7. (a) Type of access to severed land:

- Provincial Highway
- Municipal Road maintained all year
- Municipal Road maintained seasonally
- Water Access
- Regional Road
- Other Public Road
- Right-of-Way
- Private Road

(b) Type of access to retained land:

- Provincial Highway
- Municipal Road maintained all year
- Municipal Road maintained seasonally
- Water Access
- Regional Road
- Other Public Road
- Right-of-Way
- Private Road

8. What type of water supply is proposed? (Check appropriate space)

TYPE	PROPOSED LOT	RETAINED LOT
Publicly owned and operated piped water system	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Other (specify) _____	_____	_____

9. What type of sewage disposal is proposed? (Check appropriate space)

TYPE	PROPOSED LOT	RETAINED LOT
Publicly owned and operated sanitary sewage system	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Other (specify) _____	_____	_____

10. What is the current designation of the subject land in any applicable official plan?

- (a) Local Municipal Official Plan Residential
- (b) Regional Policy Plan N/A

11. (a) Has the subject land ever been the subject of an application for approval of a plan of subdivision under Section 51 of The Planning Act or a consent under Section 53 of The Act?

Yes No

(b) If the answer to (a) is "Yes", please provide the following information:

File Number: _____

Status: _____

12. (a) Has any land been severed from the parcel originally acquired by the owner of the subject land?

Yes No

(b) If the answer to (a) is "Yes", please indicate previous severances on the required sketch and supply the following information for each lot severed:

Grantee's (Purchaser's) name _____

Land Use on severed parcel _____

Date parcel transferred _____

Consent file number (if known) B _____

13. (a) Is the subject land the subject of any other application under the Planning Act e.g. approval of a plan of subdivision; a consent application; an application for an amendment to an official plan amendment; a zoning by-law or a Minister's zoning order, or a minor variance?

Yes No

(b) If the answer of (a) is "Yes", please provide the following information:

File Number: Not assigned at time of application

Status: Submitted concurrently with Consent Application

14. (a) Is the proposed consent application consistent with the Policy Statements issued under subsection 3(1) of the Planning Act?

Yes No

(b) Are the subject lands within an area of land designated under a Provincial Plan or

Plans? Yes No

- (c) If the answer to (b) is "yes" does the proposed consent application conform to or does it not conflict with the Provincial Plan or Plans?

Yes No

15. As provided for in Ontario Regulation 197/96, and as required by this Committee of Adjustment, an application must be accompanied by a preliminary drawing prepared, signed and dated by an Ontario Land Surveyor, showing the information set out below. In the case of multiple applications, one drawing plus one extra copy for each additional application will suffice.
- (a) the boundaries and dimensions of any land abutting the subject land that is owned by the owner of the subject land;
 - (b) the distance between the subject land and the nearest township lot line or landmark such as a bridge or railway crossing;
 - (c) the boundaries and dimensions of the subject land, the part that is to be severed and the part that is to be retained;
 - (d) the location of all land previously severed from the parcel originally acquired by the current owner of the subject land;
 - (e) the approximate location of all natural and artificial features on the subject land and on the land that is adjacent to the subject land that, in the opinion of the applicant, may affect the application, such as buildings, railways, roads, watercourses, drainage ditches, river or stream banks, wetlands, wooded areas, wells and septic tanks;
 - (f) the existing uses on adjacent land, such as residential, agricultural and commercial uses;
 - (g) the location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right of way;
 - (h) if access to the subject land is by water only, the location of the parking and boat docking facilities to be used;
 - (i) the location and nature of any easement affecting the subject land.
16. One copy of this application form is to be filed for each subject parcel, together with the preliminary drawing and the applicable application fee in cash, money order or by cheque made payable to the City of St. Thomas.

APPLICANT DECLARATION

By making this application, permission is hereby granted to any Municipal staff members and Municipal Planning Consultant to enter upon the premises described in this application at a reasonable time for the purpose of inspecting the property in relation to the proposed application and for distributing information concerning the same. This information is being collected pursuant to the Planning Act, Municipal Act, and Freedom of Information Act. The information contained herein will be distributed to bodies and agencies prescribed by legislation and regulation and also to interested parties.

If this application is signed by an agent or solicitor on behalf of an applicant, the owner's written authorization must accompany the application (**Appendix A**). If the applicant is a corporation acting without an agent or solicitor, the application must be signed by an officer of the corporation and the corporation's seal (if any) must be affixed.

MUNICIPAL FREEDOM OF INFORMATION AND PROTECTION OF PRIVACY ACT

Application information is collected under the authority of the Planning Act, R.S.O. 1990, c.P.13. In accordance with that Act, it is the policy of the City of St. Thomas to provide public access to all Planning Act applications and supporting documentation submitted to the City.

I, Deren Lyle, the Owner or Authorized Agent, hereby agree
(Print name of Owner or Authorized Agent)

and acknowledge that the information contained in this application and any documentation, including reports, studies and drawings, provided in support of the application, by myself, my agents, consultants and solicitors, constitutes public information and will become part of the public record. As such, and in accordance with the provisions of the *Municipal Freedom of Information and Protection of Privacy Act*, R.S.O. 1990, c.M. 56, I hereby consent to the City of St. Thomas making this application and its supporting documentation available to the general public, including copying and disclosing the application and its supporting documentation to any third party upon their request.

Collection of Personal Information:

Personal information on this form is collected under the authority of Section 41 of the *Planning Act*, R.S.O. 1990 and Sections 8 (1) and 10 of the *Municipal Act*, 2001, as amended, and will be used to contact the owner, applicant and/or agent regarding the Committee of Adjustment Application. Questions about this collection should be directed to the City Clerk, 545 Talbot Street, St. Thomas, Ontario, N5P 2T9, (519) 631-1680.

AFFIDAVIT OR SWORN DECLARATION

I, Deren Lyle of Township of Southwold in the province of Ontario,
name of applicant City

make oath and say (or solemnly declare) that the information required under Schedule 1 of Ontario Regulation 545/06 and provided by the applicant in this application is accurate, and that the information contained in the documents that accompany this application is accurate.

Sworn (or declared) before me at the City of St. Thomas on this 14 day of February, 2022.
City Day Month Year



Signature of Owner or Authorized Agent

24 FEB 2022

Date



Signature of Commissioner of Oaths, etc.

Feb 14 / 22

Date

Crystal Marie Penney, a Commissioner, etc.,
Province of Ontario, for the
Corporation of the City of St. Thomas.
Expires September 18, 2022.

APPENDIX A – AUTHORIZATION OF OWNER

If the applicant is not the owner of the subject lands, please complete the owner authorization concerning personal information as set out below.

I, Alan Patten, am the owner of the subject lands, and I authorize Deren Lyle, to act on our behalf as the agent for the submissions required for all matters relating to the subject lands, and to provide any of my personal information that will be included in this application or collected during the planning process.

Dec 6, 2021
Date

Alan Patten
Signature of Owner

APPENDIX B – ACKNOWLEDGEMENT OF LEGAL AND PLANNING FEES

In addition to the application fees listed in this application package, please note that where the City requires assistance from its solicitors or other technical or professional consultants in the processing of this application, the applicant shall be responsible for reimbursing all fees incurred by the City.

***Please note, Appendix B must be completed by the owner, not the authorized agent.**

I, Alan Patten, am the owner of the subject lands, and I understand that further fees may be incurred by the City throughout the planning process and that I am responsible for reimbursing all fees.

Dec 6, 2021
Date

Alan Patten
Signature of Owner

PROCEDURES FOR PROCESSING APPLICATIONS FOR CONSENT

Under the provisions of Sections 50 and 53 of The Planning Act, as amended, the approval of the Committee of Adjustment is required for land transactions covering the separation of a parcel of land from existing holdings. This approval is called a "consent". Consent is also required for leases, rights-of-way or easements if such extend beyond a period of 21 years and to mortgage or discharge a mortgage over part of a parcel of land.

As provided for by The Planning Act and Regulation 197/96 under The Act, every application for consent must be brought to the attention of certain authorities and to property owners within 60 metres of the subject land, either by personal service or by advertising in a newspaper which has general circulation in the area. In addition, other agencies will be consulted if the location of the subject lands falls within their respective field of responsibility.

It is this Committee's policy to conduct a public hearing on each application for consent. Notice of this hearing is circulated to the applicant/agent/solicitor and all other persons or agencies as required at least 10 days prior to the date of hearing.

Prior to the hearing, members of the Committee may examine the lands which are the subject of the application.

Following the hearing, the applicant/agent/solicitor is notified in writing of the decision of the Committee. In addition, any other person or agency who files a written request for the decision of the Committee or attends the hearing will be sent a copy of the decision.

Anyone objecting to the decision of the Committee or the condition(s) imposed by the Committee may appeal either the decision and/or the conditions of consent to the Local Planning Appeal Tribunal within 20 days after the giving of the notice of decision. The notice of appeal, together with written reasons supporting the appeal and the fee by cheque or money order payable to the Minister of Finance must be filed with the Secretary-Treasurer, who in turn, will forward the appeal to the Local Planning Appeal Tribunal. The Fees and Charges, found on the Local Planning Appeal Tribunal's website, outlines the costs associated with filing an LPAT appeal. All parties to the appeal will receive any further notice concerning the appeal directly from the Local Planning Appeal Tribunal.

Prior to final consent being issued, written proof must be submitted to the Secretary-Treasurer to the effect that any conditions imposed by the Committee in granting consent have been fulfilled. According to the Act, if the consent granted by the Committee is conditional, the conditions must be fulfilled within one year of the giving of the notice of decision. Failure to do so will cause the consent to lapse.

Preliminary Discussion and Pre-consultation

Prior to submission of an application, the Applicant/Agent must discuss the proposed application with the City's Planning and Building Services Department and other agencies to determine the requirements for a complete application. The City and any affected agency may also require additional background reports in support of the application in order for the application to be considered complete. The purpose of pre-consultation is to ensure that the applicant is aware of the required supporting information before an application is submitted in order to prevent delays in processing the application. In some cases it may be necessary to schedule a pre-consultation meeting with the City and affected agencies.

POLICIES

The requirements to complete one application are:

One fully completed application for consent form signed by the applicant(s) or authorized agent and properly witnessed by a Commissioner for the taking of affidavits.

A letter of authorization from the applicant(s) or applications which are signed by someone other than the owner(s).

A preliminary drawing which has been prepared, dated and signed by an Ontario Land Surveyor, showing all information referred to in item 14 of the application form.

Payment of \$450. Cheques are to be made payable to the "City of St. Thomas" There is an additional fee of \$200 for deed stamping if the consent is approved and all conditions are met.

Someone must be present at the hearing to represent the application.

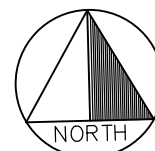
Decisions of the Committee are made in public.

In granting consent to an application, the Committee may impose conditions as requested by municipal or other authorities such as the following:

That payment of 5% of the value of the subject parcel be made to the local municipality for parks purposes or dedication of 5% of the subject land to the municipality for parks purposes.

That an agreement with the local municipality be entered into for installation of such municipal services as may be required, at the expense of the applicant and to standards acceptable to the municipality.

That land be deeded gratuitously to the local or Regional municipality for road widening purposes.



SCALE 1:500

SKETCH FOR SEVERANCE
30 SOUTH EDGEWARE ROAD
PART OF LOT 5
RANGE SOUTH OF EDGEWARE ROAD
GEOGRAPHIC TOWNSHIP OF YARMOUTH
CITY OF ST. THOMAS
P.I.N. 35164-0037


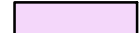

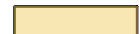
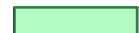
PLAN PREPARED BY:



Cyril J. Demeyere Limited
P.O. Box 460, 261 Broadway
Tillsonburg, Ontario, N4G 4H8
Tel: 519-688-1000
856-302-9886
Fax: 519-842-3235
cjd@cjdeng.com
14 FEB 2022

20064

LEGEND

-  SEVERANCE BOUNDARY
-  LANDS TO BE RETAINED 2134m²
-  LANDS TO BE SEVERED (LOT 1) 1010m²
-  LANDS TO BE SEVERED (LOT 2) 982m²
-  3m SIGHT TRIANGLE 4.5m²



REGISTERED

PLAN

243

LOT 27

LOT 26

LOT 24

LOT 25

LANDS TO BE RETAINED

LANDS TO BE SEVERED (LOT 2)

LANDS TO BE SEVERED (LOT 1)

SOUTH EDGEWARE ROAD

WOODWORTH CRESCENT

P2, P5 & M)
N 88° 26' 25" W (M)
PART 5
11R - 2183

49.987 (P2, D1 & S)
N 88° 26' 25" W (M)
(N 88° 28' 30" W P2, P3 & P5)

110.526 (M) (110.496 P1) (110.508 P2)

60.539 (M) 58.071 D1 60.521 P2 & P3

REINFORCING WALL

ASPHALT

HEDGE

WOOD CURB

CHAIN LINK FENCE

WOOD FENCE

SHED

DECK

PORCH

SPW

HP

HYD

ASPHALT

HEDGE

CEMENT

300mm SAN SEWER

375mm STM SEWER @ 0.35%

750mm CONC WM

400mm PVC WM

ABANDONED 150mm G IM

76.8m - EX. 200mm CLAY SAN @ 0.35%

ABANDONED 150mm G IM

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SURVEYOR'S REAL PROPERTY REPORT
 (PART 1) PLAN OF
PART OF LOT 5
RANGE SOUTH OF EDGEWARE ROAD
GEOGRAPHIC TOWNSHIP OF YARMOUTH
CITY OF ST. THOMAS
COUNTY OF ELGIN

SCALE 1:300

METRIC DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048. THE INTENDED PLOT SIZE OF THIS PLAN IS 711mm IN WIDTH BY 646mm IN HEIGHT WHEN PLOTTED AT A SCALE OF 1:300.

KIM HUSTED SURVEYING LTD.

(PART 2)
REPORT SUMMARY (TO BE READ IN CONJUNCTION WITH PLAN OF SURVEY)
 REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY: NONE REGISTERED ON TITLE
 COMPLIANCE WITH MUNICIPAL OFFICIAL PLANS AND ZONING BY-LAWS: NOT CERTIFIED BY THIS REPORT
 ADDITIONAL REMARKS: PROPERTY DESCRIPTION: PART OF LOT 5, 1st RANGE SOUTH OF EDGEWARE ROAD, GEOGRAPHIC TOWNSHIP OF YARMOUTH, CITY OF ST. THOMAS, COUNTY OF ELGIN, ALL OF P.I.N. 35164-0037
 SUBJECT PROPERTY AREA = 4436.8 SQ. METERS
 AREA OF SUBJECT PROPERTY COVERED BY DWELLING AND SHED = 171.2 SQ. METERS
 COVERAGE = 3.9 %

THIS SURVEYOR'S REAL PROPERTY REPORT HAS BEEN PREPARED FOR ALAN PATTEN AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHERS

SURVEYOR'S CERTIFICATE

I CERTIFY THAT
 (1) - THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM
 (2) - THIS SURVEY WAS COMPLETED ON THE 24th DAY OF SEPTEMBER, 2020

OCTOBER 6, 2020
 DATE

KIM S. HUSTED
 ONTARIO LAND SURVEYOR

THIS REPORT CAN BE UPDATED BY KIM HUSTED SURVEYING LTD. HOWEVER NO ADDITIONAL PRINTS OF THIS ORIGINAL REPORT WILL BE ISSUED SUBSEQUENT TO THE DATE OF CERTIFICATION

NOTES

(1) - BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE WESTERLY LIMIT OF WOODWORTH AVENUE AS SHOWN ON REGISTERED PLAN 243 HAVING A BEARING OF N 00° 31' 30" E

LEGEND

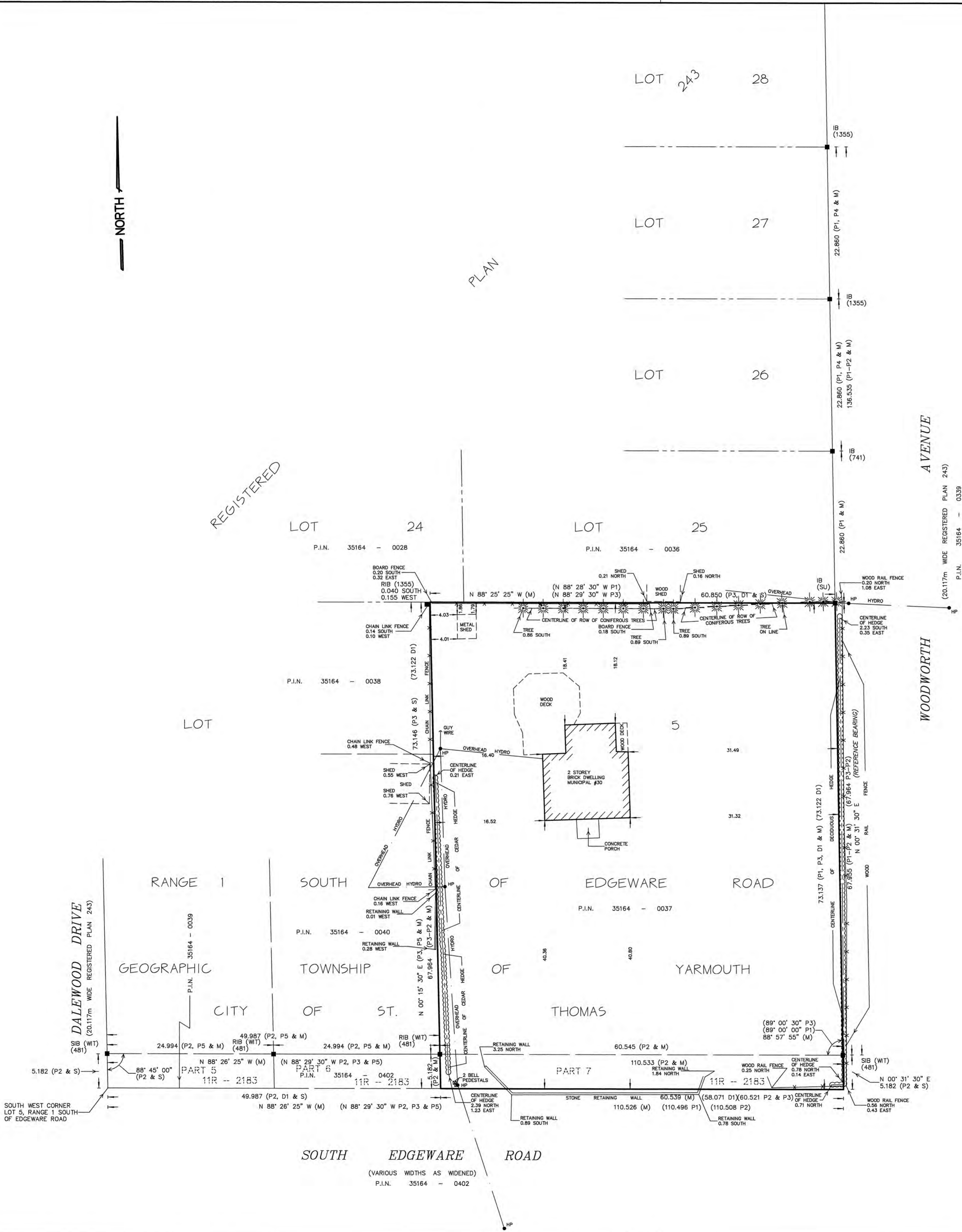
■	NOTES	SURVEY MONUMENT FOUND
□	NOTES	SURVEY MONUMENT SET
SB	NOTES	STANDARD IRON BAR
IB	NOTES	IRON BAR
RB	NOTES	ROUND IRON BAR
(WT)	NOTES	WITNESS
(481)	NOTES	F.A. BELL, O.L.S.
(741)	NOTES	D.J. HOUGHTON, O.L.S.
(1355)	NOTES	BRIAN VAUGHAN SURVEY LTD.
(SU)	NOTES	SOURCE UNKNOWN
(P1)	NOTES	REGISTERED PLAN 243
(P2)	NOTES	DEPOSITED PLAN 11R-2183
(P3)	NOTES	PLAN OF SURVEY BY BRIAN VAUGHAN SURVEY LTD. FILE: 85-149, DATED: JUNE 30, 1985
(P4)	NOTES	PLAN OF SURVEY BY BRIAN VAUGHAN SURVEY LTD. FILE: 01-64, DATED: JULY 9, 2001
(P5)	NOTES	PLAN OF SURVEY BY BRIAN VAUGHAN SURVEY LTD. FILE: 85-40, DATED: FEBRUARY 27, 1985
(D1)	NOTES	INSTRUMENT E388476, P.I.N. 35164-0037
(M)	NOTES	MEASURED
(S)	NOTES	SET
P.I.N.	NOTES	PROPERTY IDENTIFICATION NUMBER

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KIM HUSTED SURVEYING LTD.
 ONTARIO LAND SURVEYOR
 30 HARVEY STREET, TILSONBURG, ONTARIO, N4G 3J8
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PROJECT: 20-16114 REFERENCE: HF1 DISK No. 646



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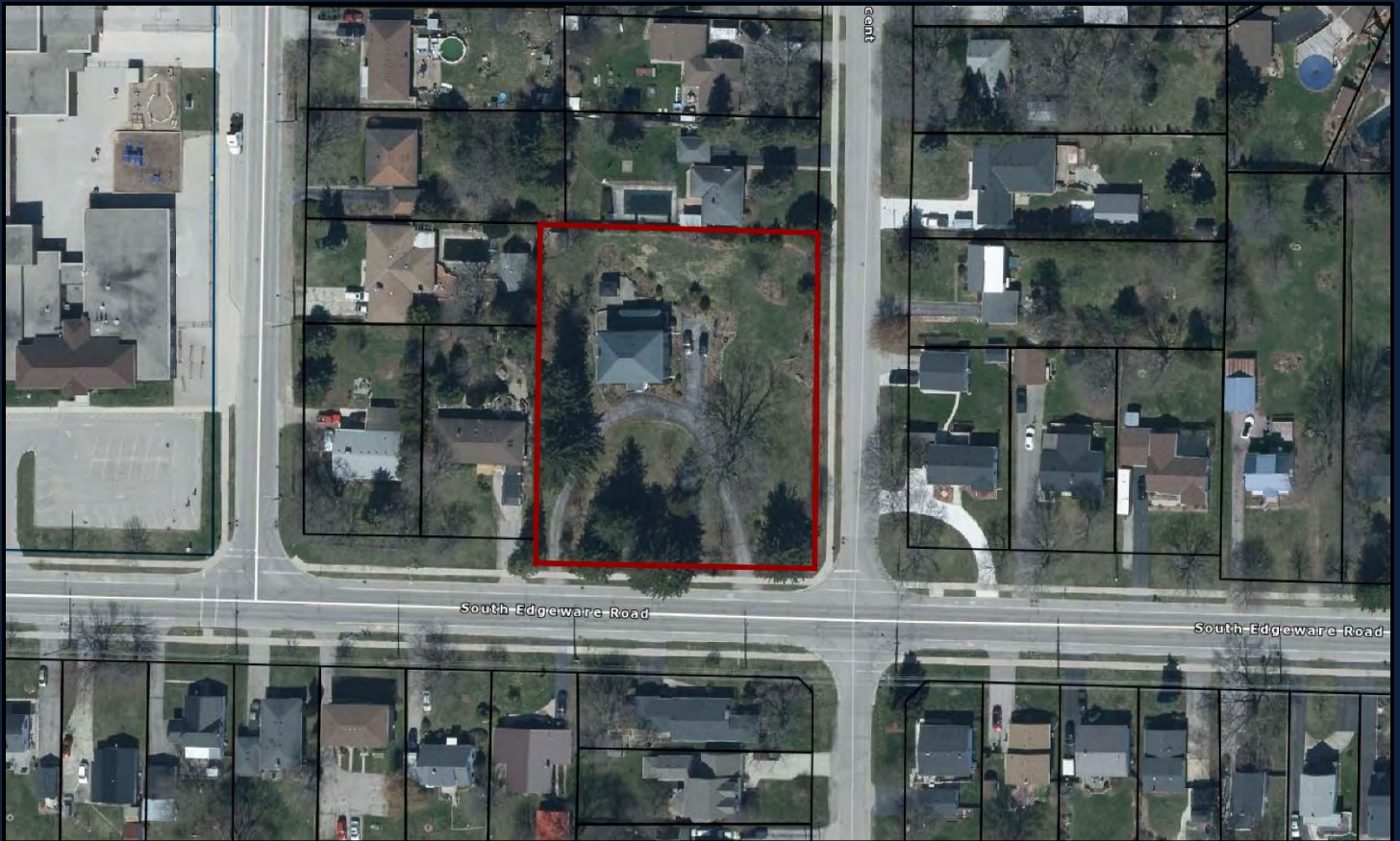
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Planning Justification Report

30 South Edgeware Road

St. Thomas, Ontario



November 11, 2021



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INTRODUCTION AND SUMMARY

JEG Home Solutions has made an application to the City of St. Thomas to amend the Zoning By-law to permit the development of townhouse dwellings on a portion of the lands known municipally as 30 South Edgeware Road (the “subject lands”). The proposed development consists of two (2) one- and two-storey townhouse buildings, with each building containing a total of three (3) units, for a total of six (6) new units on the subject lands, plus the existing single detached dwelling. A Zoning By-law Amendment application is required for the purpose of re-zoning the subject lands to permit the proposed development. In addition, a Consent to Sever application has been submitted with the intent of severing the subject lands into three lots. The existing dwelling on the subject lands is to remain.

The purpose of the following Planning Justification Report is to evaluate the proposed Zoning By-Law Amendment and Consent to Sever applications within the context of existing land use policies and regulations, including:

- 2020 Provincial Policy Statement (PPS);
- City of St. Thomas Official Plan; and,
- City of St. Thomas Zoning By-Law.

This report concludes that the proposed Zoning By-Law Amendment and Consent to Sever applications are appropriate and desirable for the following reasons:

- The proposed Zoning By-Law Amendment is generally consistent with the policies of the 2020 Provincial Policy Statement and City of St. Thomas Official Plan;
- The proposed Zoning By-Law Amendment generally maintains the purpose and intent of the City of St. Thomas Zoning By-Law;
- The proposed Zoning By-Law Amendment will permit an appropriate built form and density for the subject lands by locating more intensive forms of housing along a higher order road;
- The proposed development will make efficient use of underutilized lands within an established built-up area in keeping with the 2020 Provincial Policy Statement and City of St. Thomas Official Plan; and,
- The proposed Zoning By-Law Amendment will encourage a more efficient use of the subject lands by allowing for housing to be provided at less cost than a typical single detached dwelling, which is the dominant form of housing in the surrounding area; and,
- The proposed development provides a site design and residential built form that is compatible with, and complementary to, proximate low-density residential dwellings, ensuring appropriate building setbacks, landscaped areas, and vehicular and pedestrian connections.

SUBJECT LANDS

The subject lands consist of a single, rectangular-shaped parcel of land located north side of 30 South Edgeware Road at the northwest corner of South Edgeware Road and Woodworth Crescent (Figure 1). The subject lands have a total area of approximately 4,437m² (47,757ft²) with a lot frontage of approximately 60.5m (198ft) of frontage along South Edgeware Road, and a lot depth of approximately 68m (223ft) along Woodworth Crescent.

The subject lands are occupied by a two-storey single detached dwelling. The remainder of the subject lands is comprised of landscaped open space and hardscaped surface area parking. Vegetation on the subject lands consists of ornamental trees and shrubs, ornamental herbaceous gardens, and conifer hedgerows. Several large, mature trees are dispersed throughout the subject lands. The subject lands slope downward to the south towards the front of the property. A stone retaining wall is located along a portion of the South Edgeware Road frontage (Figures 2-5).

Vehicular access is currently provided by a semi-circle driveway with two access driveways from South Edgeware Road. The driveways are located on opposite sides of the South Edgeware Road frontage and are separated by the aforementioned retaining wall. Pedestrian sidewalks are available along both sides (north and south) of South Edgeware Road, as well as along the west side of Woodworth Crescent. Access to public transit (Northside Route 1) is available at the intersection of South Edgeware Road and Woodworth Crescent (Stop 120).

The subject lands are within the “Residential” land use designation in the City of St. Thomas Official Plan and are currently zoned “First Residential Zone (R1)” in the Zoning By-Law.

Figure 1 – The Subject Lands



Figure 2 – The Subject Lands (looking northwest from South Edgeware Road)



Figure 3 – The Subject Lands (looking southwest from Woodworth Crescent)



Figure 4 – The Subject Lands (looking west from Woodworth Crescent)



Figure 5 – The Subject Lands (looking northeast from South Edgeware Road)



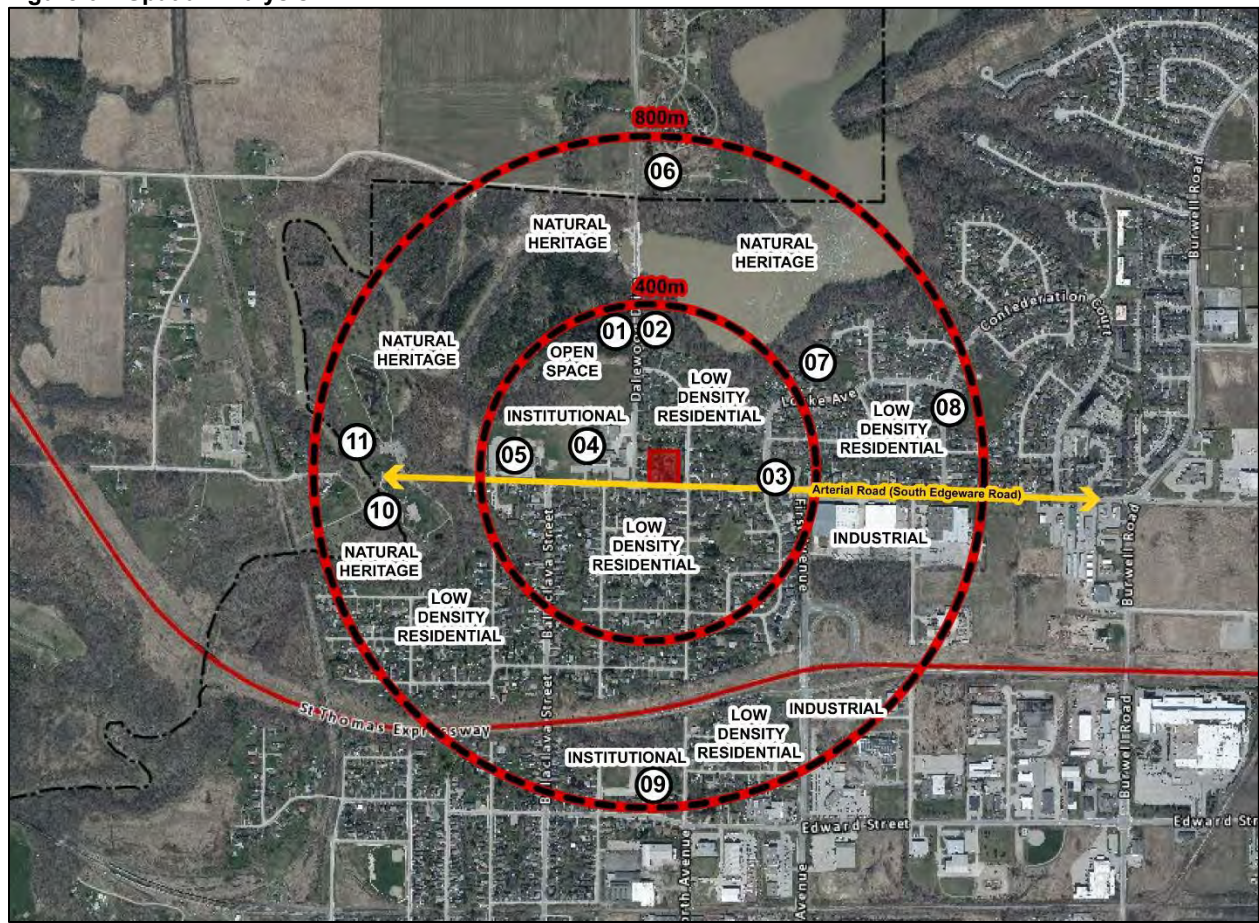
SPATIAL ANALYSIS and NEIGHBOURHOOD CHARACTER

The following section provides a regional spatial analysis and a site-specific spatial analysis. A regional spatial analysis, which considers land uses within 400m and 800m from the subject lands, analyzes the range and mix of surrounding land uses, built form characteristics, key structures, landmarks, and/or transportation networks. A site-specific spatial analysis provides an analysis of immediate land use relationships between the subject lands and abutting properties.

REGIONAL SPATIAL ANALYSIS

Figure 6 illustrates the surrounding land uses, as well as significant landmarks, within a 400-meter and 800-meter buffer radius in relation to the subject lands. These buffers represent straight line walking distances of approximately five (400 meters) and ten minutes (800 meters), respectively. However, given the existing configuration of sidewalk networks and other pedestrian barriers, these buffers may not represent true walking times.

Figure 6 – Spatial Analysis



Notable features within 400m include (labeled with corresponding numbers on Figure 6):

1. Waterworks Disc Golf Course
2. Dalewood Reservoir Trail
3. Church of Christ
4. Lockes Public School
5. Monsignor Morrison Catholic School

Notable features within 800m include (labeled on Figure 6):

6. Dalewood Conservation Area
7. Woodhaven Park
8. Kin Park
9. June Rose Callwood P.S.
10. Waterworks Park Splash Pad
11. Waterworks Park

Lands within 400m are characterized by a mix of land uses, containing predominantly low density residential uses in the form of one- and two-storey single-detached dwellings. Limited medium density residential uses are integrated throughout the surrounding area. Open space uses and recreational amenities are located throughout the surrounding area, including Waterworks Disc Golf Course and Dalewood Reservoir Trail. Proximate corridors provide connections to the Dalewood Reservoir and associated parkway. Limited commercial and light industrial uses are located along the south side of South Edgeware Road. A range of institutional uses and recreational facilities are located through the surrounding area, including the Church of Christ, Lockes Public School, and Monsignor Morrison Catholic School. Generally, the neighbourhood is considered walkable with a wide range of amenities within walking and cycling distance.

Lands within 800 meters are comprised of a wider mix of uses, however, the broader land use context is still characterized by predominantly low density residential uses in the form of one and two-storey single-detached dwellings. A range of commercial and light industrial uses are located along proximate main streets, such as South Edgeware Road, First Avenue, and Edward Street to the west and southwest of the subject lands. Additional open space uses, recreational amenities, and natural heritage resources are located throughout the surrounding area, including Dalewood Conservation Area, Woodhaven Park, Kin Park, Waterworks Park, and Waterworks Park Splash Pad. Additional institutional uses, in the form of educational facilities (June Rose Callwood P.S.), are located further to the south.

SITE SPATIAL ANALYSIS

The neighboring lands located immediately adjacent the subject lands are comprised of single detached dwellings. The built form of these abutting lots are characterized mainly by one and two-storey, mid-century dwellings (Figures 7-14).

Figure 7 – 220 Woodworth Crescent (abutting the subject lands to the north, looking west from Woodworth Crescent)



Figure 8 – 34 South Edgeware Road (abutting the subject lands to the east across Woodworth Crescent, looking northeast from Woodworth Crescent)



Figure 9 – 219 Woodworth Crescent (adjacent to the east of the subject lands across Woodworth Crescent, looking east from Woodworth Crescent)



Figure 10 – 221 Woodworth Crescent (adjacent to the northeast of the subject lands across Woodworth Crescent, looking east from Woodworth Crescent)



Figure 11 – 33 South Edgeware Road (adjacent to the southeast of the subject lands across South Edgeware Road, looking south from South Edgeware Road)



Figure 12 – 31 South Edgeware Road (adjacent to the south of the subject lands across South Edgeware Road, looking south from South Edgeware Road)



Figure 13 – 29 South Edgeware Road (adjacent to the south of the subject lands across South Edgeware Road, looking south from South Edgeware Road)



Figure 14 – 28 South Edgeware Road (abutting the subject lands to the west, looking north from South Edgeware Road)



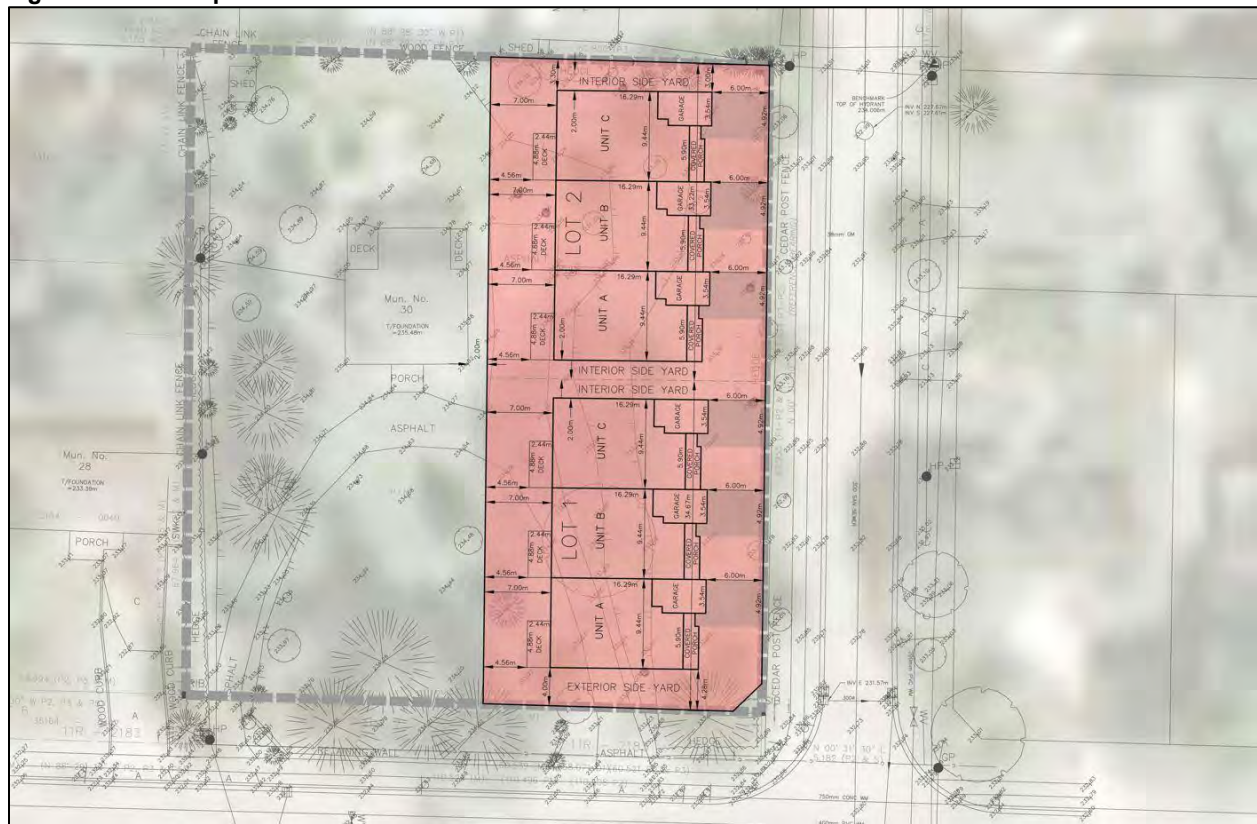
Generally, the adjacent lands are generally defined by single detached dwellings that exhibit moderate to large setbacks from the street with large front yards and well-appointed landscaping. The public realm is characterized by such front yards, front porches facing the street, side yard driveways, and a number of large trees. However, the public realm on the east side of Woodworth Crescent, opposite the subject lands, is characterized by detached garages and two dwellings that do not have a strong relationship with the street. There is no sidewalk on the east side of Woodworth Crescent.

THE PROPOSAL

SITE DESIGN

The easterly portion of the subject lands is proposed to be redeveloped for two (2), one- and two-storey, three-unit townhouse buildings, providing a total of six townhouse units. The outer townhouse units are one storey in height, whereas the middle units are two storeys. The existing single detached dwelling, which has recently undergone interior renovations, is proposed to remain. A Consent to Sever application is intended to sever subject lands into three lots. One lot, being the lands to be retained, will contain the existing single detached dwelling and landscape areas. Two new lots are proposed along the Woodworth Crescent frontage (shown on the plan as Lots 1 and 2). A three-unit townhouse building is proposed on each of the two proposed lots as described above (Figure 15).

Figure 15 – Conceptual Site Plan



The proposed site layout locates the proposed townhouse buildings on the two proposed severed lots (one building on each lot), which are located on the east side of the subject lands, facing Woodworth Crescent. The rear of each townhouse unit will interface with the side yard of the existing single detached dwelling.

The proposed buildings are positioned six (6) meters from the easterly lot line along Woodworth Crescent to provide an opportunity for a strong streetscape and pedestrian friendly public realm, while also allowing a driveway parking spaces between the street and garage.

Vehicular access is provided by private driveways that provide individual access to each dwelling unit. A total of two (2) parking spaces are provided for each unit: one (1) parking space in each attached garage and one (1) parking space in each individual driveway. The easterly portion of the existing circular driveway for the existing dwelling is proposed to be removed. Vehicular access for the existing dwelling will be provided from South Edgeware Road by the remaining portion of the existing driveway located on the west side of the lands to be retained.

Each proposed townhouse dwelling provides a gross floor area of approximately 149.3m² (1,607ft²) per unit. The development corresponds to a residential density of 16 units per hectare (UPH) across the entire subject lands. More specifically, a residential density of 5 UPH is proposed for the retained lands, a residential density of 30 UPH is proposed for 'Lot 1' and residential density of 31 UPH is proposed for 'Lot 2'. The townhouse density falls within the "Medium Density Residential" land use designation in the Official Plan.

Pedestrian circulation is accommodated from the front of each unit to the public sidewalks along Woodworth Crescent. Each unit will offer a private, outdoor amenity area to the rear of the proposed townhouses. It is anticipated that a rear deck will be provided for each unit.

An Arborist Report has been prepared to address tree removals on the site. Healthy trees are proposed to be retained where possible, however, it is in the best interests of both the proposed development and abutting property owners to remove trees that are in poor or hazardous condition. A Black Walnut tree was recently removed from the subject lands due to hazardous conditions. It is noted that specific tree removals and landscape details will be addressed through the Site Plan Approval process.

BUILDING DESIGN

The built form of the proposed development is two-storey townhouse buildings (Figure 16-17). The low-rise, rectangular-shaped buildings are oriented close to, and perpendicular with, Woodworth Crescent, to optimize the efficient use of the subject lands for desirable residential intensification.

The proposed development provides front doors facing the street (Woodworth Crescent). Additional urban design features will be considered for the townhouse building on 'Lot 1', specifically 'Unit A', to ensure the compatibility of the building with the street and to reinforce the established character of the South Edgeware Road streetscape at this highly visible location.

The proposed building will be two-storeys in height with a peaked roof, generally consistent with the surrounding low density residential neighborhood. The sloped roof contributes to the traditional residential character of the building. Notably, the townhouse buildings present to the street as a single-storey elevation with a high sloped roof. Only the middle unit contains usable floor area on the 2nd floor, but no 2nd floor windows are proposed to face the street.

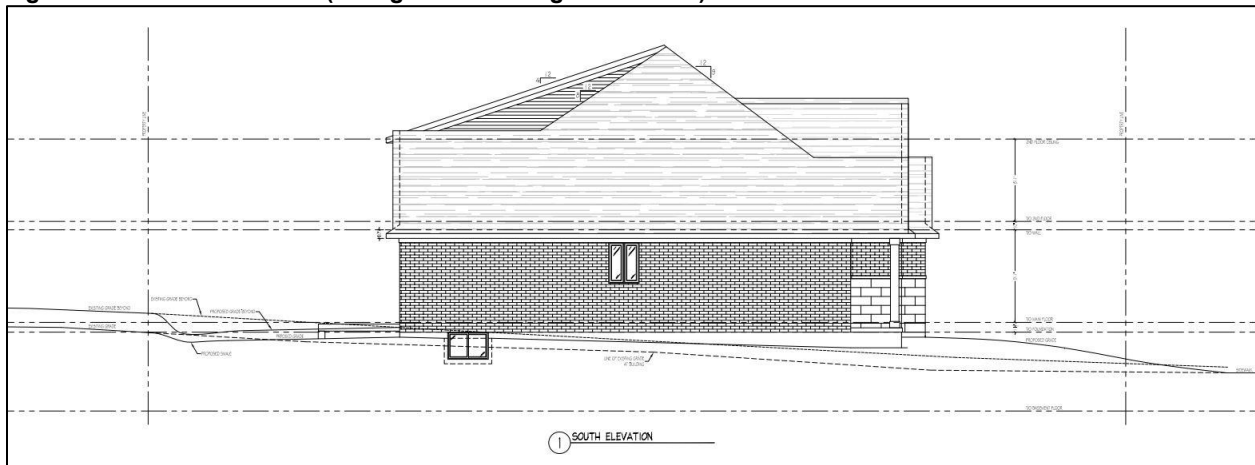
The buildings are articulated by street-facing gables, projecting front porches at main entrance locations, and attached garages facing Woodworth Crescent.

While specific materials and colours are not available at this time, conceptually, the primary materials include brick and stone on the ground floor, with vinyl siding on the 2nd floor. It is anticipated that the selected colours will be similar to those existing in the surrounding area. The proposed materials are generally consistent with the dominant cladding materials in the surrounding residential neighborhood.

Figure 16 – East Elevation (facing Woodworth Crescent)



Figure 17 – South Elevation (facing 30 South Edgeware Road)



PROPOSED ZONING BY-LAW AMENDMENT

Given that the current “*First Residential Zone (R1)*” does not permit townhouses, a Zoning By-Law Amendment is required to permit the proposed development. As such, a Zoning By-Law Amendment application (“ZBA”) has been proposed to re-zone portions of the subject lands (severed lands) to permit the various components of the proposed development, as follows.

Lot 1, the southerly lot proposed to be developed for a two-storey townhouse building containing three (3) units, is proposed to be rezoned to a site specific, special regulation “*Third Residential Zone (R3A-(_))*” with the following special regulations:

- Front Lot Line is along Woodworth Crescent;
- Maximum lot coverage of 42%; and,
- Minimum rear yard depth of 7m.

Lot 2, the northerly lot proposed to be developed for a two-storey townhouse building containing three (3) units, is proposed to be rezoned to a site specific, special regulation “*Third Residential Zone (R3A-(_))*” with the following special regulations:

- Maximum lot coverage of 43%; and,
- Minimum rear yard depth of 7m.

The lands to be retained comply with the exiting R1 zone and therefore no amendment is required.

The following table highlights the applicable zoning regulations as per the new lots (Lots 1 and 2) according to the proposed R3A Zone. Any asterisk (*) below indicates a special regulation that is required as part of the requested site specific Zoning By-Law Amendment application.

Table 1 – Site Statistics (R3A Zone)

SITE STATISTICS: THIRD RESIDENTIAL ZONE (R3A) REGULATIONS			
	Regulation	Proposed	
	Required (Townhouse Dwelling)	Lot 1	Lot 2
LOT AREA (m2) MINIMUM	555 (185 per dwelling)	1,010.4	981.8
LOT FRONTAGE (m) MINIMUM	21	34.7	33.2
MAIN BUILDING HEIGHT (m) MAXIMUM	11	8.9	8.9
LOT COVERAGE (%) MAXIMUM	40	41.7*	42.9*
NUMBER OF DWELLING UNITS MAXIMUM	4 per lot	3	3
ROOF AREA (%) MAXIMUM	55	44.3	45.6
FRONT YARD DEPTH (m) MINIMUM	6	6	6
REAR YARD DEPTH (m) MINIMUM	9	7*	7*
INTERIOR SIDE YARD DEPTH (m) MINIMUM	NORTH	2	3
	SOUTH	2	2
EXTERIOR SIDE YARD DEPTH (m) MINIMUM	4	4	N/A
INTERIOR SIDE YARD ALONG COMMON WALL BETWEEN DWELLING UNITS (m) MINIMUM	0	0	0
GROUND FLOOR AREA (m²) MINIMUM (1-STOREY)	56	149.3	149.3
DWELLING UNIT FLOOR AREA (m²) MINIMUM	70	149.3	149.3
NUMBER OF PARKING SPACES MINIMUM	(1.25 per dwelling unit)	2	2

The following table highlights the applicable zoning regulations as per the lands to be retained according to the existing R1 Zone. The existing single detached dwelling on the lands to be retained is consistent with the regulations of the R1 Zone. As such, a Zoning By-Law Amendment is not required for the lands to be retained.

Table 2 – Site Statistics (R1 Zone)

SITE STATISTICS: FIRST RESIDENTIAL ZONE (R1) REGULATIONS			
	Regulation		
	Required (Single Detached Dwelling)	Proposed	
	Retained Lands		
LOT AREA (m2) MINIMUM	464	2134	
LOT FRONTAGE (m) MINIMUM	15	31.27	
MAIN BUILDING HEIGHT (m) MAXIMUM	11	<11	
LOT COVERAGE (%) MAXIMUM	35	8	
NUMBER OF DWELLING UNITS MAXIMUM	1 per lot	1	
ROOF AREA (%) MAXIMUM	50	<50	
FRONT YARD DEPTH (m) MINIMUM	6	35.18	
REAR YARD DEPTH (m) MINIMUM	10.5	18.09	
INTERIOR SIDE YARD DEPTH (m) MINIMUM	EAST	1	2
	WEST	1	16.39
EXTERIOR SIDE YARD DEPTH (m) MINIMUM	4.5	N/A	
GROUND FLOOR AREA (m2) MINIMUM (1-STOREY)	74	161.5	
NUMBER OF PARKING SPACES MINIMUM	1 (1 per dwelling)	1	

PLANNING POLICY ANALYSIS

The following section of this Planning Justification Report provides analysis evaluating the proposed Zoning By-Law Amendment through applicable land use policies and regulations, including the following:

- 2020 Provincial Policy Statement (PPS);
- City of St. Thomas Official Plan; and,
- City of St. Thomas Zoning By-Law.

2020 PROVINCIAL POLICY STATEMENT

The Provincial Policy Statement (PPS), issued under the authority of Section 3 of the Planning Act “provides policy direction on matters of provincial interest related to land use planning” in order to ensure efficient development and the protection of resources. All planning applications, including Zoning By-law Amendment applications and Consent to Sever applications are required to be consistent with these policies. The proposed applications are generally consistent with the PPS for the following reasons:

- The proposed development is an efficient and, as discussed in more detail later in this report, appropriate form of development for the subject lands. It adds to the range and mix of housing types to help meet the long-term housing needs for a variety of demographics. Given that the proposed development is a compact, cost-effective form of development that will make full use of municipal services within an existing built-up area of St. Thomas, land consumption and servicing costs are minimized. (Section 1.1.1)
- The subject lands are within the City of St. Thomas, more specifically, they are located within a defined settlement area. The proposed density is reflective of a compact, efficient form of housing which adds to the mix of uses and densities in this area (Sections 1.1.3.1, 1.1.3.6)
- The proposed form of housing (townhouses) is inherently more efficient than the existing form (single detached dwelling); is appropriate for the underutilized subject lands; and, the subject lands are well-suited to support a new form of housing with increased density. The proposed development broadens the range of residential forms and intensities in the area, making efficient use of existing land, resources, infrastructure, and transportation networks, including existing municipal services available along Woodworth Crescent. A range of institutional uses and recreational resources are located within easy walking and cycling distance from the subject lands, which are accessible via public pedestrian sidewalks and bike lanes, thus encouraging active transportation. Additionally, the subject lands have convenient access to public transit along South Edgeware Road: Northside Route 1 is available at the intersection of South Edgeware Road and Woodworth Crescent (Stop 120) (Sections 1.1.3.2, 1.1.6.2).

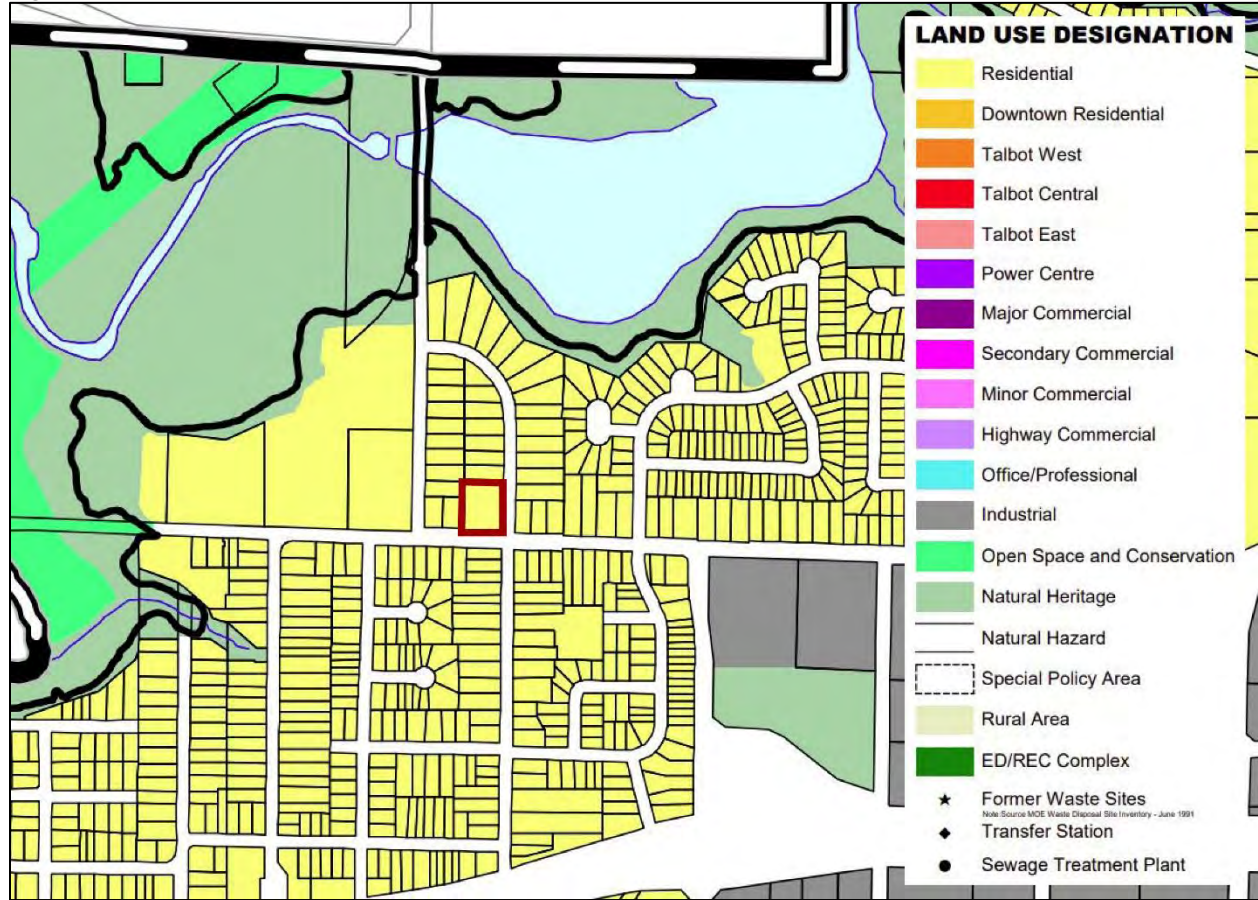
- The proposed development is considered to be intensification as it adds more dwelling units than what currently exists. The proposed development, which provides a broader range of housing in the area, is intended to be reflective of its location proximate to South Edgeware Road, a transit route and arterial road in the City. The subject lands are an appropriate location for the proposed development as they are located close to an arterial road, have access to public transit, and are proximate to open space and many amenities along South Edgeware Road. The lands are sufficiently sized to accommodate the necessary components associated with the proposed development, including parking, amenity space, and appropriate vehicular and pedestrian circulation. (Sections 1.1.3.3, 1.1.3.4, 1.4.3)
- As the subject lands are located proximate to educational facilities, such as Lockes Public School and Monsignor Morrison Catholic School, and recreational amenities, including several public parks, residents may choose to use active transportation to carry out daily activities to minimize the length and number of vehicle trips. As, previously discussed in this report, the subject lands are located proximate to a transit route (South Edgeware Road), which provides convenient access to public transit services. (Section 1.6.7.4)
- The proposed development contributes to long-term economic prosperity by adding to range of housing options available in existing low density residential neighbourhood. The proposed dwelling units are intended to accommodate a population that will support existing commercial uses in the area. The proposed development is a direct response to the current and anticipated housing market. (Section 1.7.1)

Based on the above analysis, the proposed Consent to Sever and Zoning By-Law Amendment to permit the redevelopment of a portion of the subject lands for two (2) townhouse buildings are generally consistent with the policies of the 2020 Provincial Policy Statement.

CITY OF ST. THOMAS OFFICIAL PLAN

The subject lands are designated “Residential” according to “Schedule A – Land Use Plan” in the City of St. Thomas Official Plan (Figure 18).

Figure 18 – Schedule ‘A’ – Land Use Plan (excerpt)



The “Residential” designation permits the full range of low, medium, and high-density residential uses, with each category of use dependent on locational criteria. Generally, low density residential uses permit densities up to 25 UPH, medium-density residential uses permit densities up to 75 UPH, and high-density residential uses permit densities up to 250 UPH.

A residential density of 16 units UPH is provided across the entire subject lands. More specifically, a residential density of 5 UPH is proposed for the retained lands, a residential density of 30 UPH is proposed for ‘Lot 1’, and residential density of 31 UPH is proposed for ‘Lot 2’. The retained lands correspond with the “Low Density Residential” land use designation in the Official Plan, while the severed lands (Lots 1 and 2) correspond with the “Medium Density Residential” land use designation.

The proposed applications are generally consistent with the City of St. Thomas Official Plan for the following reasons:

- The existing single detached dwelling, which is proposed to remain as part of the lands to be retained, is consistent with the “*Low Density Residential*” polices in the Official Plan. (Section 5.1.3.2);
- The proposed townhouses are consistent with the policy direction for medium density housing by adding to the range of dwelling types in the area and by locating more intense forms of housing towards a higher-order road. (Section 5.1.3.3);
- The subject lands are located within walking distance to several elementary schools. Further, the site is located along an arterial road (South Edgeware Road). Vehicular access to the proposed townhouses is provided from Woodworth Crescent to South Edgeware Road. The proposed development is consistent with the locational criteria set out in the Official Plan, in that medium density uses, including townhouses, must be located in proximity to elementary or secondary schools (i.e. Lockes Public School and Monsignor Morrison Catholic School) and must have access to an arterial or collector street (i.e. South Edgeware Road via Woodworth Crescent) (Section 5.1.3.3);
- The subject lands are large enough to accommodate intensification for medium density residential uses, with the site design providing all the necessary site functions, including adequate off-street parking for residents and guests, landscaping, general storage facilities within each dwelling, at-grade outdoor amenity area, and privacy (Section 5.1.3.3);
- The proposed development makes efficient use of existing land, resources, infrastructure, and transportation networks, including existing municipal services available along South Edgeware Road (Section 5.1.3.3);
- The proposed townhouse lots may be regarded as “*comprehensively planned housing*” as per the Official Plan. The proposed development has been designed in advance for specific a layout and profile of buildings, parking, landscaping areas, and road access points to ensure compatibility with the existing single detached dwelling and adjacent low density residential uses (Section 5.1.3.3, Section 5.1.3.5);
- Infill development, including the proposed townhouse lots, refers to new residential development within an established neighbourhood on an underutilized site. As discussed previously, a Consent to Sever application will facilitate the proposal for infill development. The proposed development is generally consistent with the redevelopment/infill polices (Section 5.1.3.6) in the City of St. Thomas Official Plan for the following reasons:
 - While a new form of housing in the area, the proposed one- and two-storey townhouse dwellings are generally compatible with the scale and character of

adjacent lands uses and the surrounding area and no undue adverse impacts are anticipated;

- The subject lands have access full municipal services. It is anticipated that such facilities have the capacity to accommodate the proposed development;
- The proposed development is sensitive to the height, scale and architectural design of buildings in the surrounding neighbourhood. Additional refinement of the building design to address South Edgeware Road may be accommodated through the Site Plan Approval process;
- Although tree removals are required, the proposed development compliments the residential streetscape along Woodworth Crescent by encouraging a strong streetscape and pedestrian friendly public realm;
- Adequate off-street parking and outdoor amenity areas are provided; and,
- The proposed townhouse lots meet the requirements of the Zoning By-law, as proposed to be amended.

PLANNING ANALYSIS (Section 5.1.3.6 vii))

The Official Plan provides that redevelopment/infill projects requiring an amendment to the Zoning By-law will require the submission of a planning analysis to determine the appropriateness of the proposed development and to identify ways of mitigating any potential adverse impacts on surrounding uses. In addition to the analysis presented in the remainder of this report, the responses to specific policy criteria in Section 5.1.3.6.viii are provided below:

a) *Compatibility of proposed use with surrounding land use;*

Response: The proposed use of the easterly portion of the subject lands for two, 3-unit townhouse buildings is generally compatible with surrounding single detached dwellings. Although it is recognized that the proposed use is a new form of housing in the area, the proposed form is of appropriate density and scale to remain compatible with surrounding uses, and importantly, will not create any undue adverse impacts on surrounding land uses.

b) *The size and shape of the parcel of land on which the development is to be located, and the ability of the site to accommodate the intensity of the proposed use;*

Response: The subject lands are considered an underutilized parcel of land that can accommodate residential intensification, being significantly larger than adjacent parcels. Further, given the location of subject lands along an arterial road in combination with the size and shape of the parcel of land, the subject lands can accommodate a higher density form of housing. The subject lands are of sufficient size to support the proposed

development, including sufficient setbacks, parking, outdoor amenity space, and pedestrian circulation. It is noted that standard zone regulations, save and except for minor modifications to the lot coverage and rear yard setback regulations, are proposed to be implemented.

c) *The proximity of any development to public open space, recreational and community facilities;*

Response: The subject lands, which have convenient access to an arterial road (South Edgeware Road), are located in proximity to range of public open space, recreational facilities, institutional facilities, and community facilities. Further, the subject lands have convenient access to public transit services, which provides connections to additional amenities through the City of St. Thomas.

d) *The height, location and spacing of any buildings in the proposed development, and any potential impacts on surrounding land uses;*

Response: The height, location, and spacing of buildings are shown on the site plan and are generally acceptable for this type of intensification development.

The proposed townhouse buildings are positioned closer to the street than the majority of dwellings along Woodworth Crescent (6m) and South Edgeware Road (4m). Locating the buildings as proposed contributes to the enhancement to the public realm and strengthening of the sub-urban streetscape. The proposed setback, though closer to the street than adjacent dwellings, is considered compatible within the context of the existing streetscape character, promoting a strong, pedestrian friendly, streetscape presence.

e) *The extent to which the proposed development provides for retention of any desirable vegetation or natural features that contribute to the visual character of the surrounding area;*

Response: There are several large trees located on the subject lands along the boundaries of the lot. An Arborist Report was prepared to address tree removals on the site. The report concludes that an existing hazardous Black Walnut tree should be removed to accommodate the proposed development. Any additional tree removals will be addressed through the Site Plan Approval process. Healthy trees and vegetation are proposed to be retained where possible.

f) *The location of vehicular access points and the impact of traffic generated by the proposal on the surrounding area;*

Response: Vehicular access for the townhouse units is proposed from Woodworth Crescent, providing individual access to each townhouse dwelling unit. There are no anticipated undue, adverse impacts from traffic by permitting the development of six (6) new townhouse units on the subject lands. The Traffic Impact Assessment concludes that the development will have no measurable impact on South Edgeware or Woodworth Crescent.

g) *The potential impact of the development on surrounding natural feature;*

Response: As there are no adjacent natural features, the proposed development will have no impact on such features.

h) *Measures planned by the applicant to mitigate any adverse impacts on surrounding land uses; and,*

Response: Mitigation measures primarily consist of appropriate building setbacks, fencing, and landscaping. The proposed townhouse buildings been positioned to place the highest activity areas (i.e. front doors, driveways) facing Woodworth Crescent to promote a strong, pedestrian friendly, streetscape presence and to encourage a positive interface with the abutting single detached dwelling. The rear of each townhouse unit will interface with the side yard of the existing single detached dwelling.

Specific buffering measures, such as landscaping, will be identified through the Site Plan Approval process, and may include such items as conifer plantings along lot lines for year-round visual screening.

i) *Redevelopment/infill projects are also subject to the policies in sections 5.1.3.3, and 5.1.3.4;*

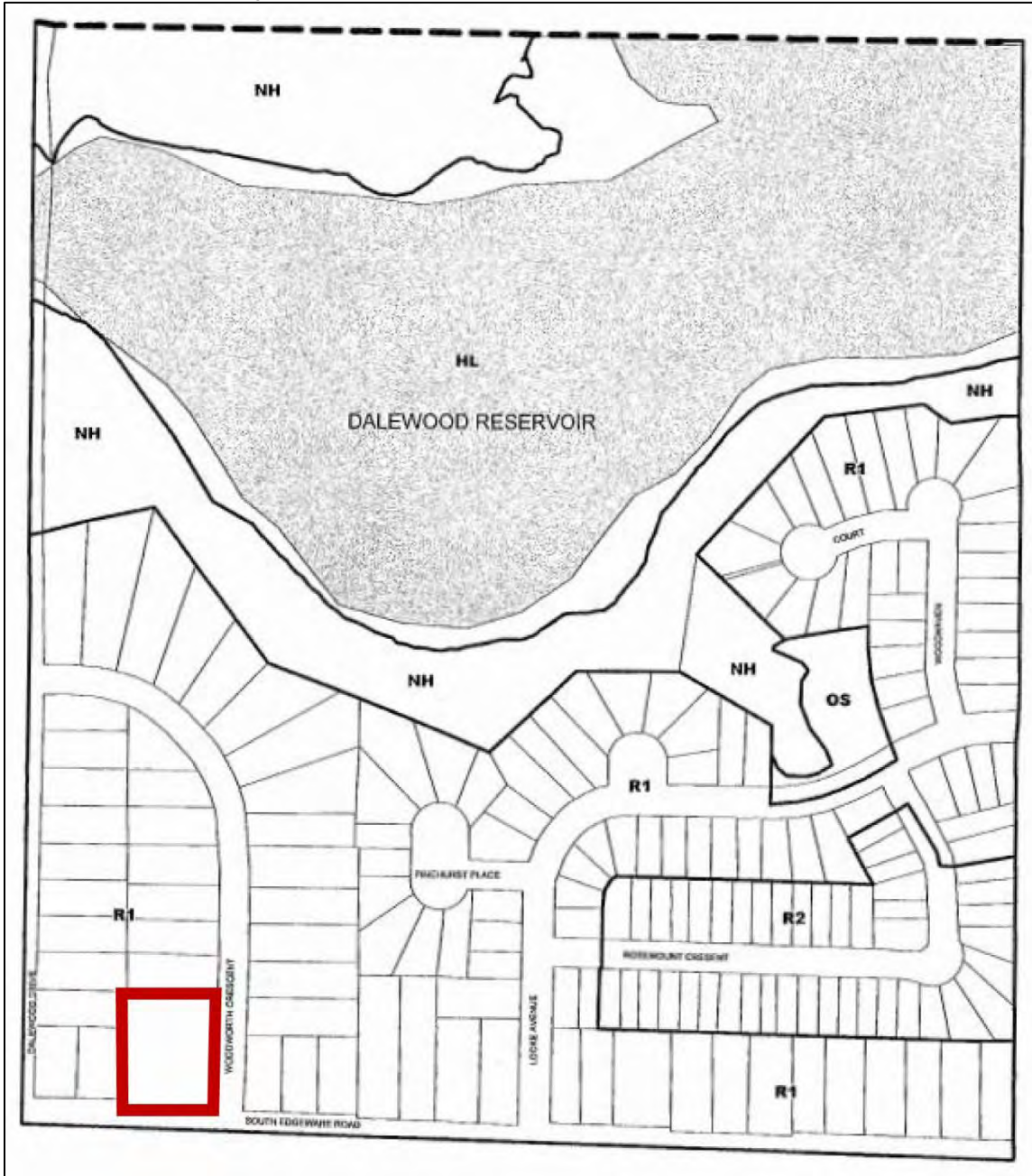
Response: The proposed townhouses are a medium density form of development. As discussed previously, the proposed development is generally consistent with the medium density residential policies (Section 5.1.3.3) in the Official Plan.

Based on the above analysis, the proposed Consent to Sever and Zoning By-Law Amendment to permit the redevelopment of the subject lands for two, 3-unit townhouse buildings are generally consistent with the policies of the City of St. Thomas Official Plan.

CITY OF ST. THOMAS ZONING BY-LAW

The subject lands are currently zoned "First Residential Zone (R1)" in the City of St. Thomas Zoning By-law No. 74-2018 (Zoning By-law) (Figure 19).

Figure 19 – Schedule 11 to By-law No. 17-2010 (excerpt)



While current *R1* zone permits the existing single detached dwelling, townhouses are not an permitted use within the *R1* zone. The lands to be retained, which include the existing single detached dwelling, comply with the regulations of the exiting *R1* zone and therefore no amendment is required. A Zoning By-Law Amendment application (“ZBA”) is required to re-zone a portion of the subject lands (the severed lands) to multiple site specific, special regulation zones to permit the proposed development. It is noted, however, that a site-specific *R3A* zone is not required to permit the form of development (townhouses), but rather the specific development proposal as shown on the site plan. The location of the proposed zones correspond with each new townhouse lot (Lots 1 and 2) as follows:

Lot 1, the southerly lot proposed to be developed for a two-storey townhouse building containing three (3) units, is proposed to be rezoned to a site specific, special regulation “*Third Residential Zone (R3A-())*” with the following special regulations:

- Front Lot Line is along Woodworth Crescent;
- Maximum lot coverage of 42%; and,
- Minimum rear yard depth of 7m.

Lot 2, the northerly lot proposed to be developed for a two-storey townhouse building containing three (3) units, is proposed to be rezoned to a site specific, special regulation “*Third Residential Zone (R3A-())*” with the following special regulations:

- Maximum lot coverage of 43%; and,
- Minimum rear yard depth of 7m.

THIRD RESIDENTIAL ZONE (R3A)

R3A zone is the standard implementing zone for a wide range of housing forms, including medium density residential uses, such as townhouse dwellings. Townhouses are an appropriate form of infill development on the subject lands, as discussed throughout this report. The *R3A* zone provides for generally appropriate regulations, including lot requirements, building setbacks, lot coverage, and parking that are established as appropriate for this type of residential intensification. Given the land use policies in the St. Thomas Official Plans, the *R3A* zone is an appropriate implementing zone to establish medium density residential infill development on the subject lands. The proposed special regulations, as identified above and discussed in more detail below, are appropriate for the site and provide the opportunity to make efficient use of the underutilized subject lands for an appropriate form of development.

SPECIAL REGULATIONS

FRONT LOT LINE INTERPRETATION (Lot 1)

The front lot line for corner lots, such as the subject lands, refers to the shorter lot line abutting the street. As per Section 1 (Definitions) in the City of St. Thomas Zoning By-law, the front lot line for Lot 1 would be the lot line abutting the South Edgeware Road street line, being the shorter lot

line abutting a street. However, given that Lot 2 provides only one lot line abutting a street, the front lot line is the lot line abutting the Woodworth Crescent street line, the only lot line fronting onto a municipal road. The proposed development provides front doors facing the street (Woodworth Crescent) for both townhouse lots. In order to provide the same building orientation and setbacks to allow for a strong streetscape and pedestrian friendly public realm, it is requested that the lot line along Woodworth Crescent be considered as the front lot line for Lot 1. This interpretation will allow for consistent building orientations and setbacks to respect and reinforce the Woodworth Crescent streetscape. It is noted that the southerly townhouse unit should be designed to address South Edgeware Road to ensure the compatibility of the building with the street and to reinforce the established character of the South Edgeware Road streetscape at this highly visible location. Specific details of these design features will be refined through the Site Plan Approval process.

LOT COVERAGE (Lots 1 and 2)

Due to location of the existing building on the retained lands, although the proposed townhouse lots meet the minimum lot requirements, specifically in terms of lot area and lot frontage, the coverage is slightly over 40% for both lots. The requested lot coverage provisions of 42% and 43% is a minor departure from the established 40% and is considered appropriate for these lots, given their context. The minor increase in lot coverage allows for an appropriate building envelope to respond to market demand, and is not anticipated to have any meaningful impact on adjacent properties.

REAR YARD DEPTH (Lots 1 and 2)

As the rear yards of the proposed townhouse lots interface with the interior side yard of the retained lands, the rear yard depth of the proposed townhouse lots are restricted by the existing single detached dwelling. The proposed townhouse buildings are proposed to have a rear setback of 7.0m, a reducing of 2m from the R3A standard regulation of 9m. The proposed setback is considered appropriate and does not have a meaningful impact on the adjacent single detached dwelling. Each unit is proposed to have its own private outdoor amenity space, which will include a rear deck or patio, with privacy screening between units. Additional landscaping and fencing may be considered as part of the Site Plan Approval process to ensure adequate screening from the adjacent dwelling.

Given the above, the proposed site-specific, special regulation R3A-(_) zones are appropriate for the severed portions of the subject lands.

OTHER CONSIDERATIONS

TRAFFIC

A Traffic Impact Study (TIS) was prepared by FR Berry & Associates in April 2021 to analyze potential vehicular traffic impacts to the existing road network (Woodworth Crescent and South Edgeware Road). Generally, the analysis concludes that the small addition of site generated trips associated with the proposed development would have no measurable impact on the function of the two streets.

ARBORIST REPORT

An arborist report was prepared by Vroom + Leonard for the subject lands in May 2021. As per this report, there were no issues noted regarding the removal of the hazardous Black Walnut to accommodate the proposed development.

URBAN DESIGN

Due to the highly visible and prominent positioning of the southerly townhouse unit on Lot 1, located at the corner of South Edgeware Road and Woodworth Crescent, it is recommended that the building elevation facing South Edgeware Road exhibit a similar degree of attention, articulation, and detail as the elevation facing Woodworth Crescent. This approach will ensure a positive contribution to the South Edgeware Road streetscape.

CONCLUSION

The proposed Consent to Sever and Zoning By-Law Amendment seek to permit two (2) one- and two-storey townhouse buildings, with each building containing a total of three (3) units, for a total of six (6) new units on the subject lands, plus the existing single detached dwelling. A Zoning By-law Amendment application is required for the purpose of re-zoning the subject lands to permit the proposed development. In addition, a Consent to Sever application has been submitted with the intent of severing the subject lands into three lots. Generally, the proposed development and associated Planning Act applications are appropriate for the development of the subject lands for the following key reasons:

- The proposed development is generally consistent with the 2020 Provincial Policy Statement, the City of St. Thomas Official Plan, and the purpose and intent of the City of St. Thomas Zoning By-Law;
- The special zoning regulations are intended to make appropriate and cost-effective use of the subject lands to provide for medium density residential uses and respond to the housing needs of current and future residents;

- The proposed townhouses are a new form of housing that will be provided at less cost than a typical single-detached dwelling, the dominant housing form in the surrounding area; and,
- The proposed site and building designs have been designed to be compatible with surrounding site and built forms, ensuring appropriate building setbacks, landscaped areas, and vehicular and pedestrian connections.

Given the above, the proposed Consent to Sever and Zoning By-Law Amendment are appropriate for the subject lands and represent good land use planning practice.

V ROOM + LEONARD
BIOLOGISTS & LANDSCAPE ARCHITECTS

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Windham Centre, ON
N0E 2A0

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519.909.9872

mlla@isp.ca
519.671.5267

To: The City of St. Thomas
From: Mike Leonard & Paige Vroom
Date: 2021 04 21
SUBJECT: 30 SOUTH EDGEWARE RD ARBORIST REPORT

1.0 INTRODUCTION

This report is being submitted on behalf of JEG Home Solutions (the proponent) as part of a tree cutting permit submission related to the proposed severance and development at 30 South Edgeware Rd, St. Thomas.

According to the Private Tree Preservation By-law #131-2017 REVISED 2019 for the City of St. Thomas, a Tree Cutting Permit is required for trees >30 cm diameter at breast height (DBH). The bylaw also states that **"removal of a dead, terminally diseased or Hazardous Trees(s) or a portion of such a Tree(s), provided an Arborist Report has been submitted to the Director, which report confirms, to the satisfaction of the Director, the need for Injury or Destruction of the subject Tree(s);" are exempt to this by-law** (Bylaw Section 4.1f).

This residential estate property would be severed into three lots. One lot will remain with vegetation and a single family home. The two new lots will front onto Woodworth Crescent. A three-unit townhouse will be developed on each of the two newly severed lots. Please see the attached proposed concept plan.

Vegetation on-site consists of young ornamental trees and shrubs, ornamental herbaceous gardens, and conifer hedgerows. The landscape on-site can be defined as anthropogenic vegetation. It is defined as cultural habitat under the MNR Ecological Land Classification System, not natural habitat.

One Private Tree >30 cm DBH exists within the development envelope and is the subject of this report.

2.0 METHODOLOGY

Vroom + Leonard (VL) attended the property on April 13, 2021.

A topographic survey and proposed concept plan was prepared by CJDJL and used as the basis for our analysis. An inventory of trees >30 cm DBH within the proposed development envelope took place. Data collection included species (common and scientific names), DBH, crown spread radius (m), height (m), structural failure potential prior to construction, and vigor. Trees were not tagged in the field.

The ISA Basic Tree Risk Assessment Form was used in data collection. The ISA instructions note **that the ISA Basic Tree Assessment Form "is intended to act as a guide for collecting and recording tree risk assessment information" and "may be adapted for your specific needs"**. Notes are provided for those trees in Section 3 below. These forms can be provided for those specific trees that the municipality has an interest in.

3.0 DATA SUMMARY

One Private Tree >30 cm DBH will be removed to accommodate the proposed development. The tree is a Black Walnut (*Juglans nigra*) that is 103 cm DBH, 30 m in height, and the crown radius ranges from 9-14 m. Several concerns are evident from the current condition of this tree. The mature tree exhibits three large linear cankers on the trunk of the tree that exhibit deadwood inside.

- Canker 1 is on the north side of the tree and is ± 3 m in length. The canker wraps around the first limb.
- Canker 2 is on the west side of the tree and is ± 3.5 m in length. The canker edges exhibit frass indicating that the canker has not properly compartmentalized.
- Canker 3 is on the east side and is ± 7 m length.

The Black Walnut has been pruned over the years. There is one improperly pruned limb that is 20 cm diameter and ± 4 m out from the trunk. Additionally, there are two 10 cm diameter branches that have been sheared mid limb. When the limbs were visually inspected it was evident that the wood was structurally weak and internally compromised.

The Black Walnut should be removed, and the proposed townhouse location necessitates its removal. The tree's vigor can be defined as normal; the structural failure potential prior to construction is high due to the presence of three cankers in the bole of the tree.

A Municipal Tree is **defined as "any Tree, the trunk of which at ground level is located 60% or more on Municipal Property."** While the Black Walnut is entirely on one of the two lots to be developed, there is a Norway Spruce (*Picea abies*) that is a minimum 60% on public lands. The Norway Spruce is 64.5 cm DBH, 20 m in height and has a crown spread radius of 5-7 m. The tree's vigor is normal and the potential for structural failure prior to development is improbable.

Based on the current concept plan the foundation of one of the townhouses will extend beyond the dripline of the Norway Spruce and therefore impact its roots. Following the approval of the ZBA and severance, this impact should be considered by the city during the Site Plan Approval process.

All other vegetation within and directly adjacent to the proposed development are young and <30 cm DBH therefore not subject to the City of St. Thomas Private Tree Preservation By-law #131-2017 REVISED 2019.

4.0 CONCLUSION

For the reasons noted in this report, we do not see any issue with the removal of the Black Walnut to accommodate the proposed development. Furthermore, we recommend its removal given its hazard status.



Mike Leonard O.A.L.A. C.S.L.A.

APPENDIX 1: FIGURES



VROOM + LEONARD
Biologists & Landscape Architects

Figure 1: Subject Lands

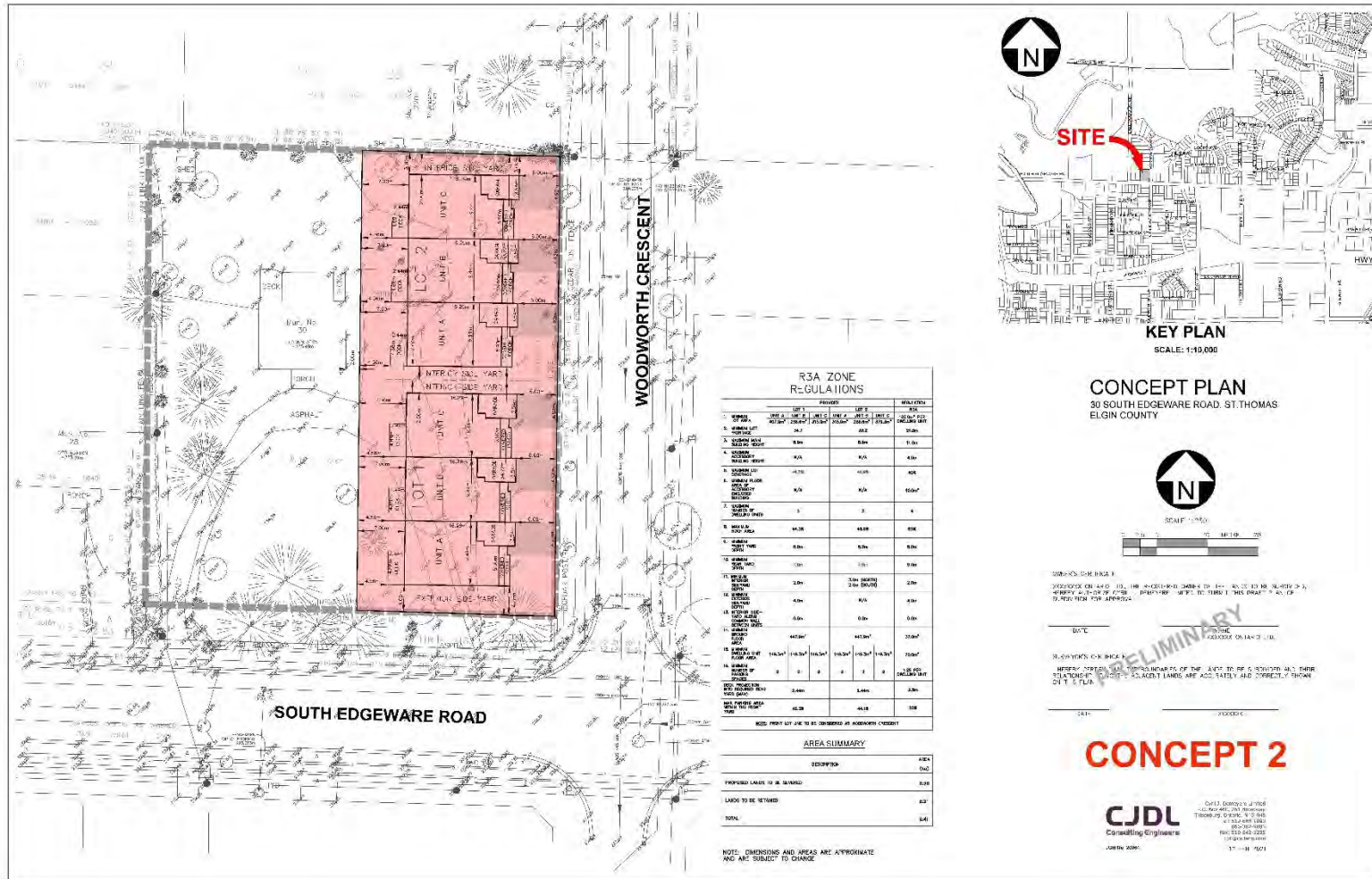


Figure 2: Concept Plan



VROOM + LEONARD
Biologists & Landscape Architects

Figure 3: Black Walnut to be Removed

APPENDIX 3: MIKE LEONARD CV

MIKE LEONARD O.A.L.A., C.S.L.A.

Mike has four decades of experience as a landscape architect registered for practice in Ontario. During this time he has served private, public and institutional clients who require landscape assessment and liturgical landscapes. He has developed alliances with consultants that complement the internal skill sets of the practice so that project teams consistently reflect a broad range of professional capabilities. Mike interacts collaboratively with clients to define their programmatic, aesthetic and cultural requirements, assisting them in the creation and management of large-scale landscapes that are functional, attractive, and both financially and ecologically viable over the decades of their design life.

Private clients have included industrial, commercial and institutional landowners. Public clients include municipalities, provincial ministries and conservation authorities.

He regularly interacts with consultants from the disciplines of land use planning, land surveying, land use law, property appraisal, forestry, arboriculture, floral & faunal biologists and archivists & historians.

Specific practice sectors include:

- Subwatershed studies participation
- Environmental impact studies for municipal and regulatory agency permitting processes
- Class environmental assessment reports for municipal and provincial servicing
- Ecosystem classification
- Ecosystem monitoring
- Land use capability studies
- Vegetation appraisal for financial compensation
- Hazard tree assessment for municipal and insurance industry due diligence reporting
- Heritage landscape archival studies and restoration plans
- Expert witness testimony before the courts and administrative tribunals including the Ontario Municipal Board

CREDENTIALS

Graduated with Honours in Landscape Architecture, 1981, from the University of Toronto, Ontario

Registration as full member granted in the Ontario Association of Landscape Architects, 1985

Certified Wetland Evaluator Province of Ontario

Qualified as an expert witness before the Ontario Municipal Board in matters relating to the assessment of woodlands and wetlands

Qualified as an expert witness before the courts and administrative tribunals in matters relating to the viability of both woodlands and individual trees.

PROFESSIONAL EXPERIENCE

Vroom – Leonard Biologist + Landscape Architect

Principal Landscape Architect in association with Paige Vroom M.Sc. Aquatic Biologist 2020 - Present

Environmental consulting for natural heritage impact assessment, wetland evaluation, stream assessment, woodland evaluation, class environmental assessments, hazard tree assessment, tree valuation, mitigation of urban land uses on the natural environment, landscape regeneration and the restoration of historic landscapes.

Leonard+Associates in Landscape Architecture

Principal Landscape Architect

2007 - 2020

BioLogic

Principal Landscape Architect in association with Dave Hayman M.Sc. Aquatic Biologist 1995 - 2007

Upper Thames River Conservation Authority

Resource Planner and Site Planner 1978 -1995

Co-ordinated the development of long-range plans for Conservation Authority lands in urban and rural settings. Initiated and maintained resource inventory data bases for biological populations within woodlands and wetlands. Prepared assessments relating to impact of recreational facilities and aggregate extraction operations on terrestrial and aquatic ecosystems. Acted as a consultant to municipalities within the watershed in the development of site plans for spatially-extensive recreational facilities and open space networks.

Ontario Ministry of Natural Resources

Site Planner,
Southwestern Regional Office 1977

Developed site plans for specific facilities within provincial parks, within the context of impact assessments prepared by others.

PROJECT REFERENCES

Detailed project-specific references available for Mr. Leonard in the following areas of practice:

RESOURCE ANALYSIS

SUBWATERSHED STUDIES
MUNICIPAL RESOURCE ASSESSMENT FOR PLANNING ACT PERMITS
TERRESTRIAL ECOSYSTEM CLASSIFICATION
LAND USE CAPABILITY STUDIES
ECOSYSTEM MONITORING
VEGETATION APPRAISAL
HAZARD TREE ASSESSMENT

IMPACT ASSESSMENT

PROVINCIAL CLASS ENVIRONMENTAL ASSESSMENT REPORTS
MUNICIPAL ENVIRONMENTAL IMPACT STUDIES
IMPACT MITIGATION REPORTS

OPEN SPACE PLANNING

MUNICIPAL PARK MASTER PLANS
MUNICIPAL PARK DESIGN
HERITAGE LANDSCAPE RESTORATION PLANS

BIODESIGN

CONSTRUCTION SUPERVISION
STORMWATER MANAGEMENT FACILITY DESIGN
HABITAT RESTORATION & ENHANCEMENT
VEGETATION RETENTION STRATEGIES
SHORELINE RETENTION STRATEGIES
BUFFER DESIGN

LIASON

REGULATORY AGENCY / COMMUNITY GROUPS

14 February 2022

20064

30 SOUTH EDGEWARE ROAD
LOT SEVERANCE & TOWNHOME DEVELOPMENT
CITY OF ST. THOMAS
SERVICING BRIEF

1.0 Introduction

This Servicing Brief has been prepared to support the concurrent Zoning By-law Amendment and Consent Applications by JEG Home Solutions to permit the severance of an existing lot and the construction of two (2) 3-unit townhome blocks at 30 South Edgeware Road in St. Thomas.

The subject land is approx. 0.44ha and is legally described as Part 1 of Lot 5, Range South of Edgeware Road, City of St. Thomas, known municipally as 30 South Edgeware Road. The property is bounded by South Edgeware Road to the south, Woodworth Crescent to the east and existing single-detached residential usages to the north and west. There is an existing single-detached dwelling on-site that is proposed to be severed and remain, with two (2) new lots being created from the severed lands for each townhome block.

2.0 Transportation

A traffic impact assessment was completed by F.R. Berry & Associates to review the potential increase in traffic flow due to the two proposed 3-unit townhome blocks. The traffic impact assessment letter indicated the proposed development would have no measurable impact on the operation of South Edgeware Road or Dalewood Drive from Woodworth Crescent.

All six townhome units are proposed to have direct driveway access to Woodworth Crescent.

3.0 Grading & Geotechnical

Existing contours range in elevation from 233.0m – 235.0m±, with intermittent steep slopes, providing an overall grade of approx. 5% from the existing residence towards Woodworth Crescent and 3.5% towards South Edgeware Road. The existing residence is approx. 1.1 – 2.9m± higher than the property boundaries. The high-point of the existing lot boundary is in the northwest corner, with all flow being tributary to South Edgeware Road to the south and Woodworth Crescent to the east. The existing grading on the lot to be retained does not direct any flow towards the existing residence and no significant ponding has been observed during heavy rainfalls. The existing site grading is not proposed to be altered on the lot to be retained, apart from some sloping along the proposed east lot boundary, down to the proposed townhome lots.

There is an existing retaining wall within the South Edgeware Road right-of-way (ROW) along the north side of the existing sidewalk, which is proposed to remain. An additional 0.6m± tall armour stone

retaining wall is proposed along the rear lot line of townhome units A & B on severed lot '2'. This new retaining wall will mitigate sloping required between the retained lot and the proposed townhome rear yards, along the length of the existing residence.

Lot grading of the new townhome blocks has been designed in general accordance with the City of St. Thomas Design Guidelines (2022). The townhome lots were designed as split drainage with rear yard catchbasins proposed to collect rear yard flows and convey them to the storm sewer system on South Edgeware Road. A 4:1 slope is proposed along the rear lot limit of the townhome blocks, outside of the proposed retaining wall area, to facilitate the change in grade between the retained lot and the townhomes.

4.0 Watermain

There is an existing 200mmø PVC DR18 watermain on Woodworth Crescent, which connects to a 300mmø watermain on Dalewood Drive and a 400mmø PVC DR25 watermain on South Edgeware Road.

The existing water service for the single detached dwelling on-site is provided off of the 400mmø watermain on South Edgeware Road and is proposed to remain.

Each proposed townhome unit will be provided a 25mmø PEX DR9 water service connected to the existing 200mmø PVC watermain on Woodworth Crescent.

A WaterCAD model has been created to confirm the proposed water distribution system will provide a satisfactory level of service for the development. The model was expanded from the existing City of St. Thomas water distribution model. A summary of input criteria for the model are as follows:

- City of St. Thomas Design Standards (2022) Pop. Per Unit = 3ppl/unit
- City of St. Thomas Design Standards (2022) Average Daily Per Capita Demand = 450 L/cap/d
- Base Demand: 6 units x 3ppl/unit x 450 L/cap/d = 0.09 L/s
- City of St. Thomas Design Standards (2022) Peak Hour Factor = 7.8
- Peak Hour Demand: 0.09 L/s x 7.8 = 0.73 L/s
- City of St. Thomas Design Standards (2022) Max. Day Factor = 3.5
- Max. Day Demand: 0.09 L/s x 3.5 = 0.33 L/s
- Ontario Building Code (OBC) Fire Flow Requirements = 60 L/s
- Fire Underwriters Survey (FUS) Fire Flow Requirements = 103 L/s

The following is a summary of the modelling results for the existing water system;

30 South Edgeware Road	Base Demand (0.09 L/s)	Peak Hour (0.73 L/s)	Max. Day + FUS Fire Flow (0.33 L/s Max. Day) (103.0 L/s Fire Flow)	Max. Fire Flow Rate @ 20 PSI & 3.0 m/s (0.33 L/s Max. Day) (135.0 L/s Fire Flow)
Residual Pressure (PSI)	66.2 PSI (45.4 m)	61.9 PSI (43.5 m)	57.5 PSI (40.44 m)	55.2 PSI (38.8 m)

The WaterCAD modelling results confirm the existing water distribution system will together allow for sufficient operating pressure (>20 PSI) to be maintained during max day + OBC & max day + FUS fire flow scenarios, confirming sufficient fire protection can be provided for all 6 proposed dwelling units.

The fire flow protection has also been modelled at the existing hydrant, near the northeast limit of the site, to determine the maximum fire flow available, while maintaining a minimum 20 PSI residual pressure and 3.0 m/s maximum flow velocity, during max. day + fire flow conditions.

Fire flow protection rates are based on the size of the townhome blocks as shown on the Site Plan (see Appendix 'A'). Modelling has been completed in accordance with the Ontario Building Code, Fire Underwriters Survey (1999) and City of St. Thomas Design Standards (2022).

5.0 Sanitary Sewage

There is an existing 300mm \varnothing clay sanitary sewer on Woodworth Crescent which connects to an existing 300mm \varnothing sanitary sewer on South Edgeware and continues south along Woodworth Crescent.

The existing sanitary service for the dwelling to remain is provided off of Woodworth Crescent. This sanitary service is proposed to be capped and abandoned, with a new 150mm \varnothing PVC sanitary PDC to be provided 5m east of the west property boundary to connect to the existing sanitary system on South Edgeware Road.

Each proposed townhome unit will be provided a 150mm \varnothing PVC sanitary PDC connected to the existing 300mm \varnothing clay sanitary sewer on Woodworth Crescent. The existing clay sanitary sewer inverts on Woodworth Crescent are approx. 5.5m \pm below the road centerline and 3.7m \pm below the underside of footing (USF) for the proposed townhome units, providing sufficient grade difference for a minimum 2% sanitary PDC.

Based on a design population of 3 persons/unit (Section 6.1.4, St. Thomas Design Guidelines 2022), the total design population for the development is 18 persons, resulting in a sanitary design flow of 0.25l/s. This additional sanitary flow rate is approx. 0.5% of the sanitary sewer design capacity (53.0 l/s) and the 0.2ha townhome development area accounts for 2.6% of the assumed area tributary to this sewer (7.8ha) on Dalewood Drive and Woodworth Crescent.

6.0 Storm Drainage & Stormwater Management

Under pre-development conditions, approx. 0.28ha of the site is tributary to the roadside catchbasins on Woodworth Crescent, near the intersection of Woodworth Crescent and South Edgeware Road. All tributary flow from the site, under existing conditions, is conveyed via uncontrolled overland flow to the Woodworth Crescent roadway and into the roadside catchbasin inlets. The runoff coefficient for this pre-development tributary area is $C=0.30$, based on the existing building, asphalt and grassed areas.

Under post-development conditions, the tributary area to Woodworth Crescent is still 0.28ha, but the additional building and hard-surface areas increases the runoff coefficient to $C=0.60$. The post-development tributary flow from the retained lot and the rear yards of the townhomes is conveyed by two rear yard catchbasins through a proposed 250mm \varnothing storm pipe to the existing roadside catchbasins on Woodworth Crescent. Tributary flow from the front and partial side yards of the townhomes will be conveyed to Woodworth Crescent via overland flow to the roadway.

The existing roadside catchbasin (CB) in the northwest corner of the intersection of Woodworth Crescent and South Edgeware Road is proposed to be relocated approx. 2m north, and a new 1200mm \varnothing storm manhole (MH) is to be installed in the previous CB location. This new storm MH will have two storm inlet pipes. The westerly inlet will be a 250mm \varnothing storm pipe from the rear yard catchbasins for the new townhomes. The north inlet will be a 300mm \varnothing storm pipe to be extended approx. 60m north along

Woodworth Crescent to provide storm service connections for the townhome units. The relocated catchbasin will be connected to this new 300mmø storm pipe on Woodworth Crescent. The new storm manhole will outlet to the existing roadside catchbasin at the northeast corner of the Woodworth Crescent and South Edgeware Road intersection, before flowing to the existing storm sewer system on South Edgeware Road.

Each townhome unit will be provided a 100mmø PVC storm PDC service, connected to the proposed 300mmø storm sewer on Woodworth Crescent.

The rear yard storm piping has been designed based on a 5-year design storm using the current 2010 MTO IDF Factors for the 30 South Edgeware Road site location, with a 15-minute inlet time, in accordance with the 2022 St. Thomas Design Guidelines.

An 85mmø circular orifice is proposed at the rear yard storm sewer connection to the new storm manhole outlet at the northwest corner of the intersection of Woodworth Crescent and South Edgeware Road. This outlet orifice will restrict post-development outflows from the rear yard to pre-development levels for the 5-year design storm. The 5-year pre-development site outflow is 20.3 l/s, which requires approx. 18m³ of stormwater storage in post-development conditions, which will be provided within the rear yard stormwater system and swales up to a ponding level of 233.50m. For larger storm events, an additional approx. 12m³ of stormwater storage is available up to a ponding level of 233.60m before overtopping the side yard grade and flowing out to Woodworth Crescent. This stormwater quality control design will ensure the post-development outflow will be restricted to pre-development levels for the 5-year design storm, while providing a major flow route towards Woodworth Crescent during major storm events.

7.0 Electrical and Utilities

30 South Edgeware Road is currently within the electrical service territory of Entegrus Powerlines Inc. (EPI). All electrical services for the proposed townhomes are to be installed as per Entegrus Powerlines Inc. specifications. The electrical services are proposed to be connected to the existing services on Woodworth Crescent.

Coordination with Bell and Union Gas will continue following the concurrent submissions of the consent and zoning by-law amendment applications.

All of which is respectfully submitted by,



Deren Lyle, P. Eng.

DL/avm

APPENDIX 'A'

WATER DEMAND CALCULATIONS

CITY OF ST. THOMAS
 30 SOUTH EDGEWARE ROAD TOWNHOMES



PROJECT No. 20064
 DATE: 14-Feb-22
 DESIGN BY: AVM
 CHECKED BY: DJL

DOMESTIC WATER DEMAND CALCULATIONS

30 SOUTH EDGEWARE ROAD TOWNHOMES

No. Residential Units	<input type="text" value="6"/>	units	
Pop. Per Residential Unit	<input type="text" value="3.00"/>	ppl/unit	(Section 6.1.4, St.Thomas Design Guidelines 2021)
Residential Design Population	<input type="text" value="18"/>	cap.	6 units * 3 ppl/unit
Average Daily Demand	<input type="text" value="450"/>	L/cap./d	(Section 9.2, St.Thomas Design Guidelines 2021)
Residential Base Demand	<input type="text" value="0.09"/>	L/s	18 cap. * 450 L/cap/d
Residential Max. Day Factor	<input type="text" value="3.50"/>	-	(Section 9.2, St.Thomas Design Guidelines 2021)
Residential Peak Hour Factor	<input type="text" value="7.80"/>	-	(Section 9.2, St.Thomas Design Guidelines 2021)
Residential Max. Day Demand	<input type="text" value="0.33"/>	L/s	0.09 L/s * 3.50
Residential Peak Hour Demand	<input type="text" value="0.73"/>	L/s	0.09 L/s * 7.80

Total Average Base Demand	<input type="text" value="0.09"/>	L/s
---------------------------	-----------------------------------	-----

Total Max. Day Demand	<input type="text" value="0.33"/>	L/s
-----------------------	-----------------------------------	-----

Total Peak Hour Demand	<input type="text" value="0.73"/>	L/s
------------------------	-----------------------------------	-----

No.	REVISION	DATE	BY

ONTARIO BUILDING CODE FIRE DEMAND CALCULATIONS

30 SOUTH EDGEWARE ROAD TOWNHOMES

Average Floor Area m²
 No. Storeys
 Building Height m (Height to Underside of Roof Deck with Basement) (OBC Section 3)
 Sprinkler System?
 Building Class
 Fire Resistance/Separation h

Construction Type

K

Building Volume m³ (Average Floor Area * Building Height)

S _{FRONT}	0.0	(Distance = <input type="text" value="26.00"/> m, Figure 1: Spatial Separation) (OFM TG-03-1999 Section 6.3)
S _{LEFT}	0.5	(Distance = <input type="text" value="4.00"/> m, Figure 1: Spatial Separation) (OFM TG-03-1999 Section 6.3)
S _{RIGHT}	0.0	(Distance = <input type="text" value="38.00"/> m, Figure 1: Spatial Separation) (OFM TG-03-1999 Section 6.3)
S _{REAR}	0.1	(Distance = <input type="text" value="9.00"/> m, Figure 1: Spatial Separation) (OFM TG-03-1999 Section 6.3)
S _{SUM}	0.6	

S_{TOT} (S_{TOT} = 1 + S_{SUM}) (OFM TG-03-1999 Section 6.3)

Q L (Q = K * Volume * S_{TOT}) (OFM TG-03-1999 Section 6.3)

REQUIRED FIRE FLOW L/min (Table 2 - OFM TG-03-1999 Section 6.3)

REQUIRED FIRE FLOW	<input type="text" value="60"/>	L/s
--------------------	---------------------------------	-----

No.	REVISION	BY	DATE

FIRE UNDERWRITERS SURVEY FIRE DEMAND CALCULATIONS

30 SOUTH EDGEWARE ROAD TOWNHOMES

Average Floor Area	<input type="text" value="421.0"/>	m ²	
No. Storeys	<input type="text" value="2"/>		
Gross Floor Area	<input type="text" value="526"/>	m ²	(Largest Floor + 25% of Two Immediately Adjoining Floors, Not Including Basement, Based on 1-Hr Fire Rating Between Floors)
Building Height	<input type="text" value="9.00"/>	m	(Height to Underside of Roof Deck, Not Including Crawl Space Below Ground) (OBC Section 3)
Type of Sprinkler System	<input type="text" value="None"/>		
Fire Resistance/Separation	<input type="text" value="1.0"/>	h	
Building Class	<input type="text" value="C"/>		
Construction Type	<input type="text" value="Ordinary Construction (Brick or Other Masonry Walls, Combustible Floor and Interior)"/>		
Building Contents (Occupancy)	<input type="text" value="Limited Combustible"/>		(Appendix FUS, 1999)
	C	<input type="text" value="1.0"/>	(Construction Type Coefficient) (FUS, 1999)
1) Base Fire Flow	<input type="text" value="5046.83"/>	L/min	($F=220 \cdot C \cdot \sqrt{\text{Gross Floor Area}}$)(FUS, 1999)
2) Occupancy Safety Rating	<input type="text" value="-15%"/>		(Occupancy Safety Rating FUS, 1999)
Revised Fire Flow (F)	<input type="text" value="4289.81"/>	L/min	(Fire Flow After Step 2)
3) Sprinkler System Reduction (As)	<input type="text" value="0%"/>		(Sprinkler System Reduction FUS, 1999)
Fire Flow Reduction (R _f)	<input type="text" value="0.00"/>	L/min	(Fire Flow Reduction From Step 3)(F * As)
4) Exposed Structures Factor			
S _{FRONT}	<input type="text" value="7.0%"/>		(Distance = <input type="text" value="26.00"/> m) (FUS, 1999)
S _{LEFT}	<input type="text" value="19.3%"/>		(Distance = <input type="text" value="4.00"/> m) (FUS, 1999)
S _{RIGHT}	<input type="text" value="2.3%"/>		(Distance = <input type="text" value="38.00"/> m) (FUS, 1999)
S _{REAR}	<input type="text" value="15.7%"/>		(Distance = <input type="text" value="9.00"/> m) (FUS, 1999)
Party Wall Building Separation	<input type="text" value="0.0%"/>		<input type="text" value="No"/> Building Has Unpierced Party Wall/Firewall Boundary
S _{SUM}	<input type="text" value="44.3%"/>		
Increase In Fire Flow (IF)	<input type="text" value="1901.8"/>	L/min	(Fire Flow Increase After Step 4)(F * S _{sum})(FUS, 1999)
5) Final Fire Flow	<input type="text" value="6191.62"/>	L/min	(Final Fire Flow = F - RF + IF) (FUS, 1999)
REQUIRED FIRE FLOW	<input type="text" value="6192.00"/>	L/min	
REQUIRED FIRE FLOW	<input type="text" value="103"/>	L/s	

No.	REVISION	BY	DATE

APPENDIX 'B'

STORM DESIGN

30 SOUTH EDGEWARE ROAD
TOWNHOME DEVELOPMENT



20064
14-Feb-22

PRE-DEVELOPMENT FLOW CALCULATIONS

TRIBUTARY AREA = 0.69 [Acres] 0.28 Ha
 RUNOFF COEF. = 0.6000
 AVERAGE OUTFLOW = 0.0154 [m³/s]

PREDEVELOPMENT RUNOFF COEF. = 0.30

$$Q = 0.0028 * C * I * A$$

$$TC = (3.26 * (1.1 - f * C) * (L)^{1/2}) / S^{1/3}$$

WATERSHED LENGTH 65 m
 WATERSHED SLOPE (%) 3.5

Predevelopment Flows - 1 in 5 Year Storm Event

Rainfall Intensity

Intensity = aI^b mm/hr

$$a = 31$$

$$b = -0.699$$

$$\text{Intensity} = 86.386$$

$$\text{Time of Concentration } TC = (3.26 * (1.1 - 1.0 * C) * (L)^{1/2}) / S^{1/3} =$$

$$\text{Predevelopment Flow } Q_{pre} = 0.0028 * C * I * A =$$

MTO IDF DATA - 30 SOUTH EDGEWARE

Intensity Factors	2 year	5 year	10 year	25 year	50 year	100 year
a:	23.5	31	36	42.2	46.9	51.4
b:	-0.699	-0.699	-0.699	-0.699	-0.699	-0.699

$$13.849$$

$$20.318 \text{ l/s}$$

30 SOUTH EDGEWARE ROAD
TOWNHOME DEVELOPMENT



20064
 14-Feb-22

RAINFALL STORAGE CALCULATIONS - 5 YEAR

SITE AREA = 1.09 [Acres] 0.44 Ha
 TRIBUTARY AREA = 0.69 [Acres] 0.28 Ha
 RUNOFF COEF. = 0.59
 AVERAGE OUTFLOW = 0.0203 [m³/s]

Post Development 'C'

Item	Area (Ha)	C Value
Gravel	0.00	0.70
Building	0.10	0.95
Sod	0.13	0.20
Asph/Conc	0.05	0.9
Total	0.28	0.59

Rainfall Intensity

Intensity=at^b mm/hr
 a= 31
 b= -0.699

MTO IDF DATA - 30 SOUTH EDGEWARE ROAD

Intensity Factors	2 year	5 year	10 year	25 year	50 year	100 year
a:	23.5	31	36	42.2	46.9	51.4
b:	-0.699	-0.699	-0.699	-0.699	-0.699	-0.699

TIME [hrs]	RAINFALL INTENSITY [mm/hr]	TOTAL VOLUME [m ³]	INFLOW [m ³ /s]	RATE OF RELEASE [m ³ /s]	VOLUME RELEASED [m ³]	VOLUME STORED [m ³]
0.083	177	24	0.081	0.0203	6	18
0.167	108	30	0.050	0.0203	12	18
0.333	67	37	0.031	0.0203	24	13
0.50	50	42	0.023	0.0203	37	5
0.667	41	46	0.019	0.0203	46	0
0.833	35	49	0.016	0.0203	49	0
1	31	51	0.014	0.0203	51	0
1.5	23	58	0.011	0.0203	58	0
2	19	63	0.009	0.0203	63	0
3	14	72	0.007	0.0203	72	0
4	12	78	0.005	0.0203	78	0
8	7	96	0.003	0.0203	96	0
12	5	109	0.003	0.0203	109	0
18	4	123	0.002	0.0203	123	0
24	3	134	0.002	0.0203	134	0

<---- MAX STORAGE

30 SOUTH EDGEWARE ROAD
TOWNHOME DEVELOPMENT



20064
14-Feb-22

SUMMARY

1-5 YEAR STORAGE REQUIRED: 17.80 m³
 OUTFLOW RESTRICTION - 5 YEAR 20.32 l/s
 Maximum Storage Provided in SWM Area = 29.5 m³

1-5 YEAR SITE OUTFLOW CALCULATION

OUTFLOW RESTRICTION 0.02031807 [m³/s]

$$Q = CA \sqrt{2gh}$$

$$d = \sqrt{\left(\frac{4Q}{3.14C\sqrt{2gh}}\right)^2}$$

h = E1-E2 A = 0.005674502 AREA OF ORIFICE OPENING = $(\pi d^2)/4$
 E1 = 233.50 PONDING ELEVATION
 E2 = 231.74 CENTERLINE OF ORIFICE OUTLET
 h = 1.76 HYDRAULIC HEAD (m)

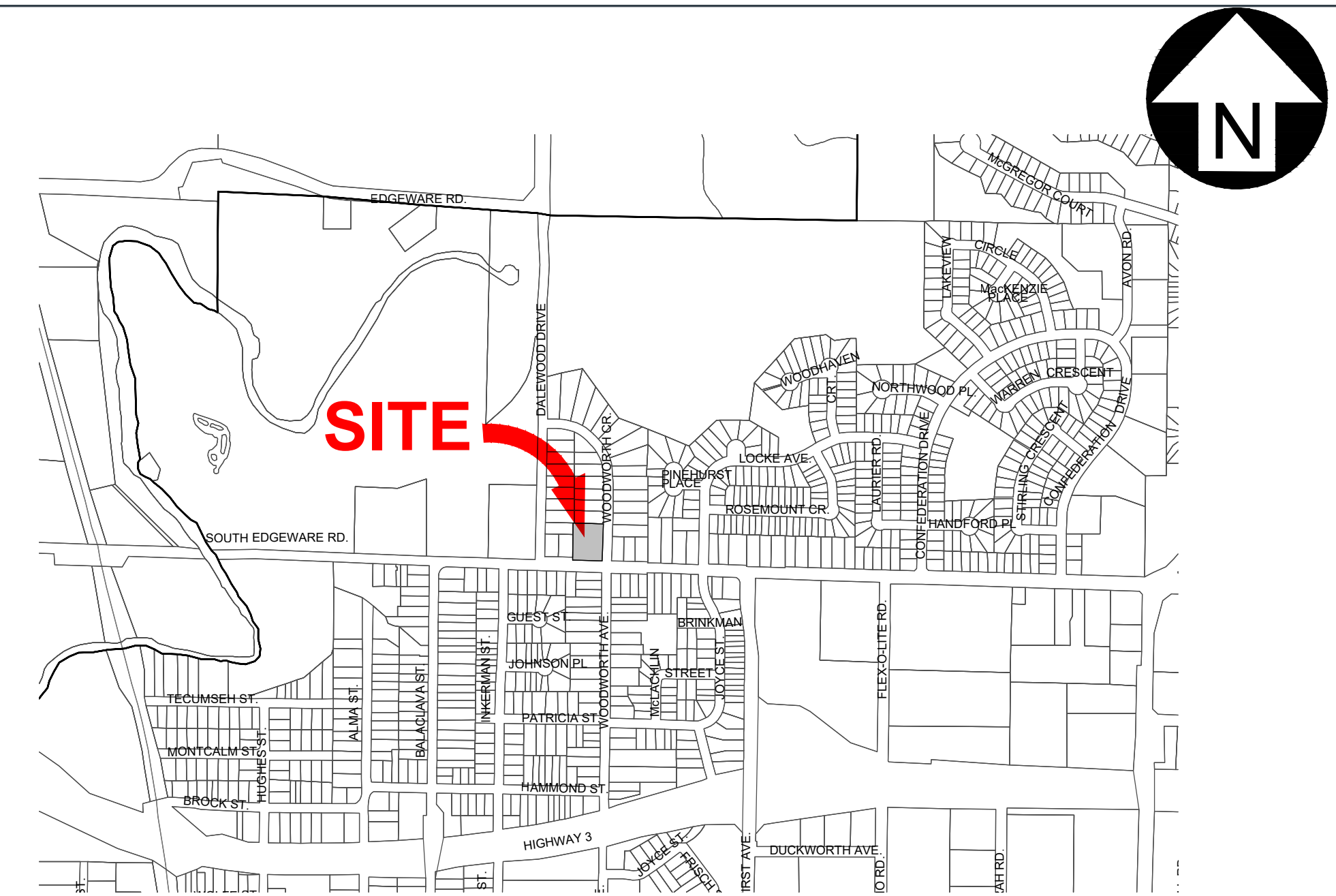
C = 0.61 DISCHARGE COEFFICIENT
 g = 9.81 GRAVITATIONAL CONSTANT (m/s²)

d = 0.085 DIAMETER OF ORIFICE REQUIRED (m)
 d = 0.085 USE DIAMETER OF ORIFICE (m)

Q = 0.0203 Flow for Orifice Used (m³/s)

APPENDIX 'C'

SITE DRAWINGS



KEY PLAN
SCALE: 1:10,000

	PROVIDED						REGULATION
	LOT 1 UNIT A	LOT 1 UNIT B	LOT 1 UNIT C	LOT 2 UNIT A	LOT 2 UNIT B	LOT 2 UNIT C	
1. MINIMUM LOT AREA	407.9m ²	286.6m ²	315.9m ²	315.9m ²	286.6m ²	379.3m ²	185.0m ² PER DWELLING UNIT
2. MINIMUM LOT FRONTAGE	34.7			33.2			21.0m
3. MAXIMUM MAIN BUILDING HEIGHT	8.9m			8.9m			11.0m
4. MAXIMUM ACCESSORY BUILDING HEIGHT	N/A			N/A			4.0m
5. MAXIMUM LOT COVERAGE	41.7%			42.9%			40%
6. MINIMUM FLOOR AREA OF ACCESSORY ENCLOSED BUILDING	N/A			N/A			40.0m ²
7. MAXIMUM NUMBER OF DWELLING UNITS	3			3			4
8. MAXIMUM AREA OF AREA	44.3%			45.6%			55%
9. MINIMUM FRONT YARD DEPTH	6.0m			6.0m			6.0m
10. MINIMUM REAR YARD DEPTH	7.0m			7.0m			9.0m
11. MINIMUM INTERIOR SIDEYARD DEPTH	2.0m			3.0m (NORTH) 2.0m (SOUTH)			2.0m
12. MINIMUM EXTERIOR SIDEYARD DEPTH	4.0m			N/A			4.0m
13. INTERIOR SIDEYARD ALONG COMMON WALL BETWEEN UNITS	0.0m			0.0m			0.0m
14. MINIMUM GROUND FLOOR AREA	447.9m ²			447.9m ²			56.0m ²
15. MINIMUM DWELLING UNIT FLOOR AREA	149.3m ²	149.3m ²	149.3m ²	149.3m ²	149.3m ²	149.3m ²	70.0m ²
16. MINIMUM NUMBER OF PARKING SPACES	2	2	2	2	2	2	1.25 PER DWELLING UNIT
DECK PROJECTION INTO REQUIRED REAR YARD (MAX)	2.44m			2.44m			2.5m
MAX PARKING AREA WITHIN THE FRONT YARD	42.3%			44.1%			50%

NOTE: FRONT LOT LINE TO BE CONSIDERED AS WOODWORTH CRESCENT

- LEGEND**
- PROPOSED SANITARY SEWER
 - EXISTING SANITARY SEWER
 - FUTURE SANITARY SEWER
 - PROPOSED STORM SEWER
 - EXISTING STORM SEWER
 - FUTURE STORM SEWER
 - PROPOSED WATERMAIN
 - EXISTING WATERMAIN
 - FUTURE WATERMAIN
 - PHASE LIMITS
 - MAINTENANCE HOLE
 - CATCH BASIN
 - WATER VALVE
 - WATER SERVICE CURB STOP
 - HYDRANT

CONSULTANT:

CJDL
Consulting Engineers

ST. THOMAS
THE RAILWAY CITY

Stamp: PROFESSIONAL ENGINEER
D.J. LYLE
100174772
14 FEB 2022
PROVINCE OF ONTARIO

REVISION		
#	DESCRIPTION	DD/MM/YYYY BY

SITE PLAN

CONTRACT #: 20064 SCALE: 1:250

PROJECT NAME: 30 SOUTH EDGEWARE ROAD, TOWNHOUSE DEVELOPMENT JEG HOME SOLUTIONS

DRAWING #: 1

660 Inverness Avenue

London, Ontario N6H 5R4

Tel: (519) 474 2527 Toll Free: 1 888 665 9192 Email: fyberry@rogers.com

April 14, 2021

Our Ref. **2118**

CJDL Consulting Engineers
261 Broadway
PO Box 460
Tillsonburg ON
N4G 4H8

Attn. Mr. A. Muirhead, EIT

Dear Mr. Muirhead:

**RE: PROPOSED TOWNHOUSE DEVELOPMENT
30 SOUTH EDGEWARE ROAD, ST. THOMAS
TRAFFIC IMPACT ASSESSMENT**

At your request, I have assessed the potential traffic impact of a proposed six unit townhouse development at 30 South Edgeware Road in St. Thomas. The location of the site is shown in **Figure 1**.

I understand that two lots will be severed from an existing property, with each lot containing three townhouses. Each townhouse will have a private driveway to Woodworth Crescent. The site plan is shown in **Figure 2**.

Existing Conditions

South Edgeware Road is a two lane arterial street with a posted speed limit of 50km/h. Woodworth Crescent is a two lane local street. Woodworth Crescent extends to the south of South Edgeware Road as Woodworth Avenue. The intersection of these streets with South Edgeware Road is controlled by stop signs on the north and south approaches. Woodworth Crescent also intersects Dalewood Drive, which is a two lane arterial street with a posted speed limit of 50km/h. At its intersection with Woodworth Crescent, Dalewood Drive has a rural cross-section with gravel shoulders. Sight distance on Dalewood Drive and South Edgeware Road is not an issue at either intersection with Woodworth Crescent.

City staff provided recent traffic counts at the intersections of South Edgeware Road with Dalewood Drive and First Avenue. The counts were made in October, 2016 at



Dalewood Drive and in November, 2017 at First Avenue. Peak hour turning movements derived from these counts are shown in **Figure 3**. Traffic count reports are contained in Appendix A.

Two way total traffic volumes on Dalewood Drive at Woodworth Crescent were recorded as 299 vehicles in the morning peak hour and 252 vehicles in the afternoon peak hour. Two way traffic volumes on South Edgeware Road at Woodworth Crescent were recorded as 566 vehicles in the morning peak hour and 518 vehicles in the afternoon peak hour. Normally, afternoon peak hour volumes are greater than morning peak hour volumes. In this case, the morning peak hour volumes are greater due to traffic generated by two elementary schools located on South Edgeware Road west of Dalewood Drive.

Two lane arterial streets are generally considered to have a capacity of up to 10 000 vehicles per day with an equivalent peak hour volume of up to 1 000 vehicles. Both South Edgeware Road and Dalewood Drive are currently operating well within their potential capacity.

Proposed Development

Based on regression equations contained in the Institute of Transportation Engineers (ITE) Trip Generation Manual, Tenth Edition, for ITE Land Use 220, Multifamily Housing (Low-Rise), the proposed development will generate three vehicle trips in the morning peak hour, one entering and two exiting, and five vehicle trips in the afternoon peak hour, three entering and two exiting.

Site generated trip were assigned equally between Dalewood Drive to the north, with access to Ron McNeil Line, Wellington Road and Highbury Avenue, and between east and west directions on South Edgeware Road. To the west, South Edgeware Road intersects Balaclava Avenue, providing direct access to downtown St. Thomas. To the east, South Edgeware Road intersects First Avenue, which provides access to Highway 3, and continues eastwards to provide access to major employment areas. The assignment of site generated trips is shown in **Figure 4**. The proposed development is estimated to add three vehicle trips to the intersection of South Edgeware Road and Woodworth Crescent in the morning peak hour and four vehicle trips to the intersection in the afternoon peak hour.

Figure 4 also shows estimated peak hour traffic generated by the 20 existing single family dwellings on Woodworth Crescent. These trips were assigned in the same proportion as for site generated traffic. When site generated traffic is added, the estimated total vehicle turning movements at each end of Woodworth Crescent are shown in **Figure 4**.

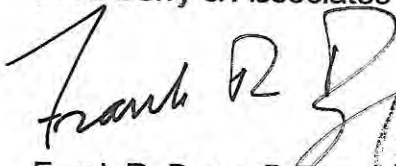


Conclusions

As noted above, both South Edgware Road and Dalewood Drive are currently operating well within capacity. Thus there are frequent gaps in the traffic flow to permit turning movements to and from both streets. The addition of the small volume of site generated trips would have no measurable impact on the operation of the two streets. In total, traffic accessing South Edgware Road and Dalewood Drive to and from Woodworth Crescent would be able to do so in safety and with minimal delays.

Very truly yours

F. R. Berry & Associates



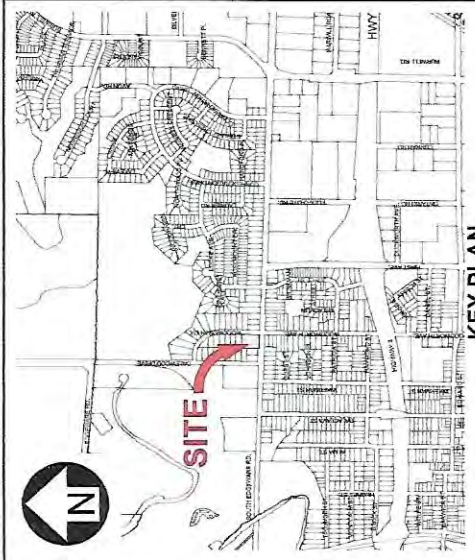
Frank R. Berry, P.Eng.
Principal





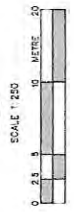
Figure 1
Area Plan

Site



KEY PLAN
SCALE: 1:10,000

CONCEPT PLAN
30 SOUTH EDGEWARE ROAD, ST THOMAS
ELGIN COUNTY



DAMES & MOORE
1000 SHEPPARD AVENUE EAST, SUITE 200
SCARBOROUGH, ONTARIO M1B 3Y1
TEL: (416) 764-2200
WWW.DAMESANDMOORE.COM

DATE: _____
DRAWN BY: _____
CHECKED BY: _____
DATE: _____

SUBJECT: CONCEPT
DRAWING NO.: _____
PROJECT NO.: _____
DATE: _____

CONCEPT 2

CJDL
Consulting Engineers
1000 SHEPPARD AVENUE EAST, SUITE 200
SCARBOROUGH, ONTARIO M1B 3Y1
TEL: (416) 764-2200
WWW.CJDL.COM

12 FEB 2021



R3A ZONE REGULATIONS

REGULATION	PROPOSED	REMARKS
1. MAXIMUM LOT AREA (SQUARE METRES)	333	333
2. MINIMUM LOT AREA (SQUARE METRES)	8.0m	8.0m
3. MINIMUM LOT WIDTH (METRES)	N/A	N/A
4. MINIMUM LOT DEPTH (METRES)	N/A	N/A
5. MINIMUM FRONT SETBACK (METRES)	0.75m	0.75m
6. MINIMUM SIDE SETBACK (METRES)	N/A	N/A
7. MINIMUM REAR SETBACK (METRES)	N/A	N/A
8. MAXIMUM NUMBER OF UNITS PER LOT	3	3
9. MAXIMUM GROUND COVER PERCENTAGE	45%	45%
10. MAXIMUM BUILDING HEIGHT (METRES)	8.0m	8.0m
11. MAXIMUM BUILDING FOOTPRINT AREA (SQUARE METRES)	750	750
12. MAXIMUM BUILDING VOLUME (CUBIC METRES)	8.0m	8.0m
13. MAXIMUM BUILDING FOOTPRINT PERCENTAGE	45%	45%
14. MAXIMUM BUILDING HEIGHT PERCENTAGE	8.0m	8.0m
15. MAXIMUM BUILDING FOOTPRINT PERCENTAGE	45%	45%
16. MAXIMUM BUILDING HEIGHT PERCENTAGE	8.0m	8.0m
17. MAXIMUM BUILDING FOOTPRINT PERCENTAGE	45%	45%
18. MAXIMUM BUILDING HEIGHT PERCENTAGE	8.0m	8.0m
19. MAXIMUM BUILDING FOOTPRINT PERCENTAGE	45%	45%
20. MAXIMUM BUILDING HEIGHT PERCENTAGE	8.0m	8.0m
21. MAXIMUM BUILDING FOOTPRINT PERCENTAGE	45%	45%
22. MAXIMUM BUILDING HEIGHT PERCENTAGE	8.0m	8.0m
23. MAXIMUM BUILDING FOOTPRINT PERCENTAGE	45%	45%
24. MAXIMUM BUILDING HEIGHT PERCENTAGE	8.0m	8.0m
25. MAXIMUM BUILDING FOOTPRINT PERCENTAGE	45%	45%
26. MAXIMUM BUILDING HEIGHT PERCENTAGE	8.0m	8.0m
27. MAXIMUM BUILDING FOOTPRINT PERCENTAGE	45%	45%
28. MAXIMUM BUILDING HEIGHT PERCENTAGE	8.0m	8.0m
29. MAXIMUM BUILDING FOOTPRINT PERCENTAGE	45%	45%
30. MAXIMUM BUILDING HEIGHT PERCENTAGE	8.0m	8.0m

AREA SUMMARY

AREA	DESCRIPTION	AREA (SQM)
PROPOSED LOTS TO BE EXCISED		330
LANDS TO BE RETAINED		3.0
TOTAL		333

NOTE: DIMENSIONS AND AREAS ARE APPROXIMATE AND ARE SUBJECT TO CHANGE

Figure 2
Site Plan

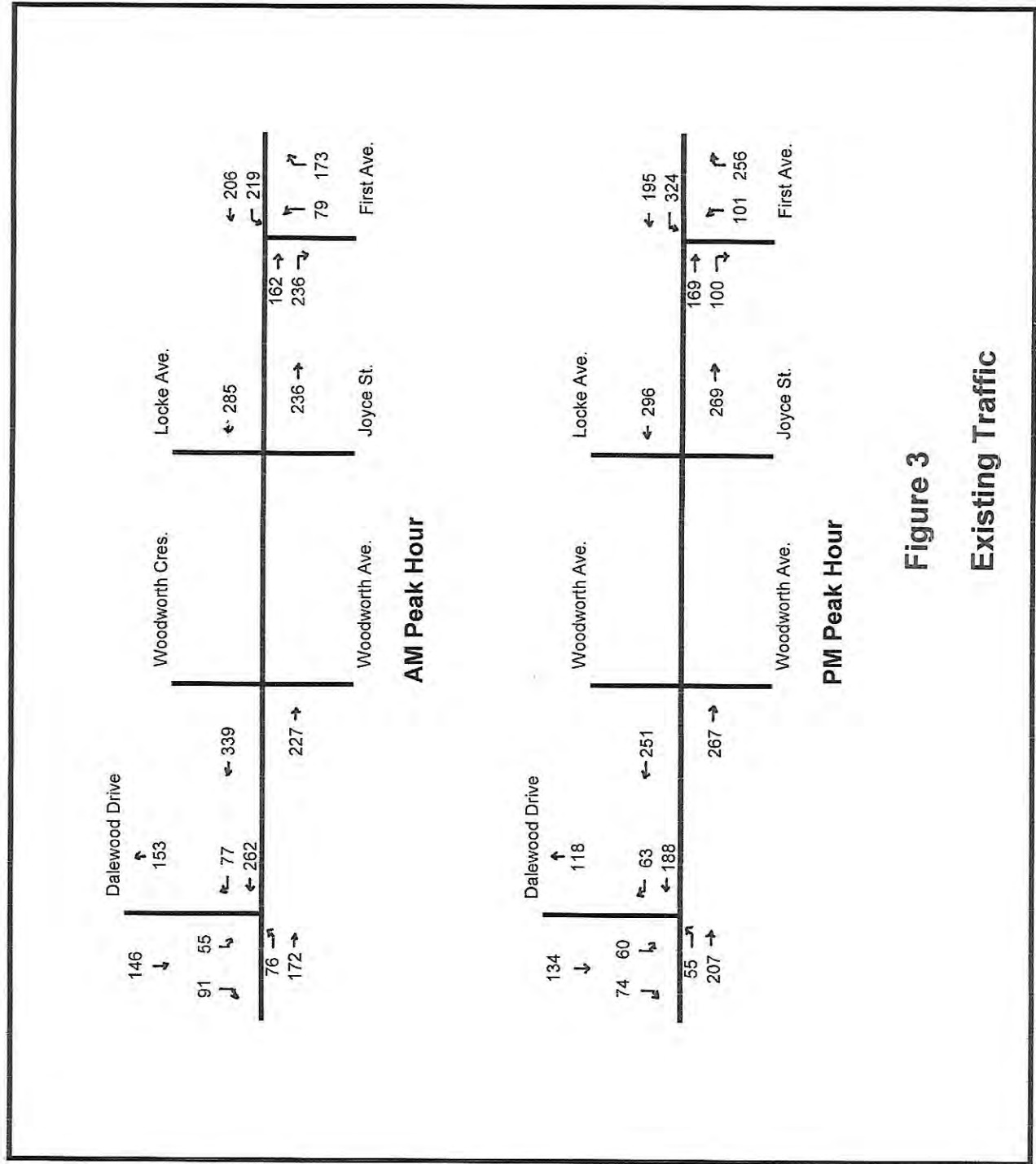
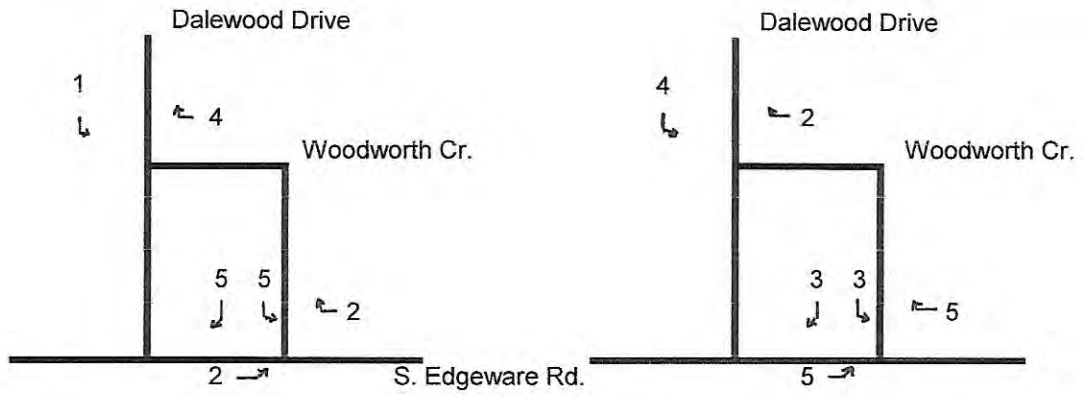
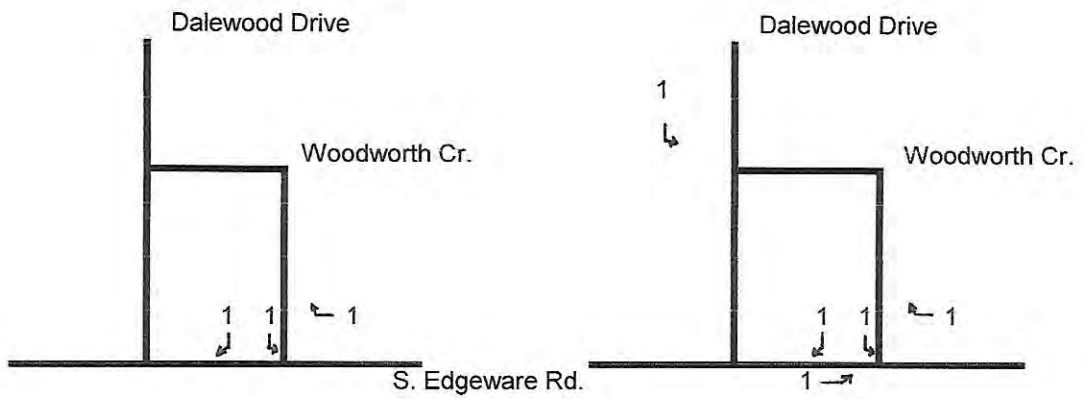


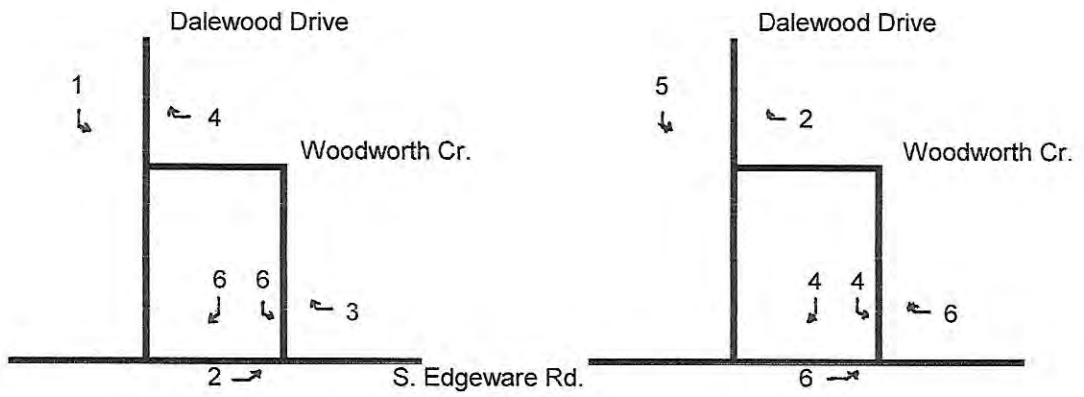
Figure 3
Existing Traffic



Existing Traffic



Site Generated Traffic



Total Traffic

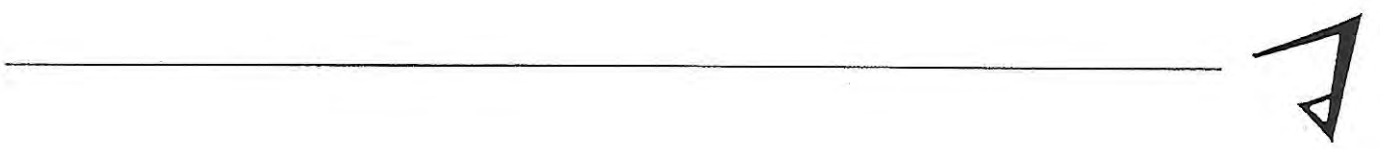
AM Peak Hour

PM Peak Hour

Figure 4

Peak Hour Traffic

APPENDIX A
TRAFFIC COUNTS



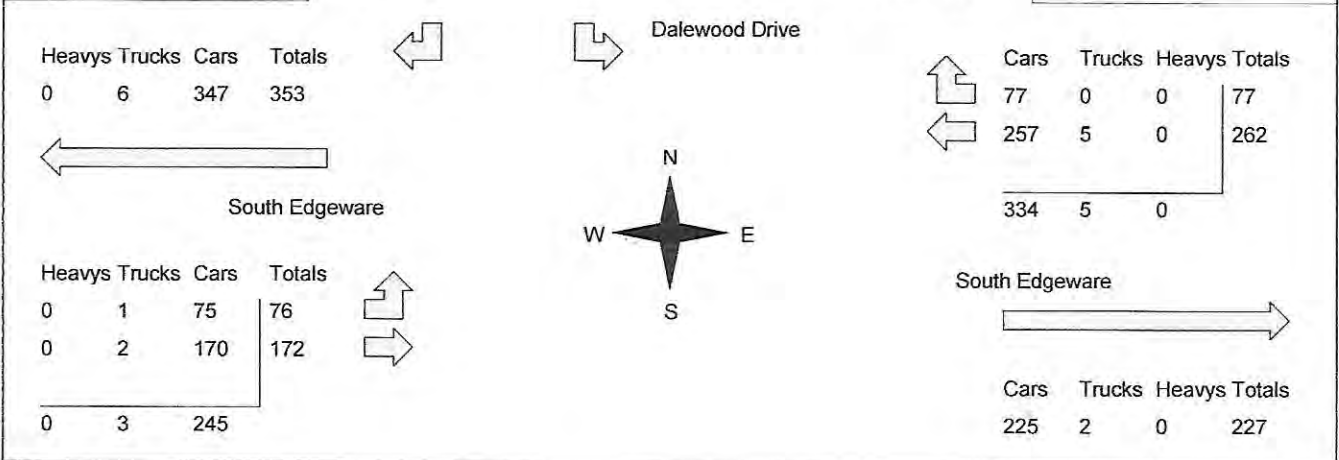
South Edgeware & Dalewood Drive

Morning Peak Diagram	Specified Period From: 7:00:00 To: 9:00:00	One Hour Peak From: 8:00:00 To: 9:00:00
-----------------------------	---	--

Municipality: St Thomas Site #: 0000000223 Intersection: South Edgeware & Dalewood Drive TFR File #: 1 Count date: 18-Oct-2016	Weather conditions: Cloudy, Rain Person(s) who counted: Dmitry
---	---

**** Non-Signalized Intersection **** **Major Road:** South Edgeware runs W/E

North Leg Total: 299 North Entering: 146 North Peds: 102 Peds Cross: ☒	<table style="margin: auto;"> <tr><td>Heavys</td><td>0</td><td>0</td><td>0</td></tr> <tr><td>Trucks</td><td>1</td><td>0</td><td>1</td></tr> <tr><td>Cars</td><td>90</td><td>55</td><td>145</td></tr> <tr><td>Totals</td><td>91</td><td>55</td><td></td></tr> </table>	Heavys	0	0	0	Trucks	1	0	1	Cars	90	55	145	Totals	91	55		<table style="margin: auto;"> <tr><td>Heavys</td><td>0</td></tr> <tr><td>Trucks</td><td>1</td></tr> <tr><td>Cars</td><td>152</td></tr> <tr><td>Totals</td><td>153</td></tr> </table>	Heavys	0	Trucks	1	Cars	152	Totals	153	East Leg Total: 566 East Entering: 339 East Peds: 0 Peds Cross: ☒
Heavys	0	0	0																								
Trucks	1	0	1																								
Cars	90	55	145																								
Totals	91	55																									
Heavys	0																										
Trucks	1																										
Cars	152																										
Totals	153																										



Peds Cross: ☒ West Peds: 51 West Entering: 248 West Leg Total: 601

Comments

South Edgeware & Dalewood Drive

Afternoon Peak Diagram

Specified Period

From: 14:00:00

To: 18:00:00

One Hour Peak

From: 15:15:00

To: 16:15:00

Municipality: St Thomas
Site #: 0000000223
Intersection: South Edgeware & Dalewood Drive
TFR File #: 1
Count date: 18-Oct-2016

Weather conditions:

Cloudy, Rain

Person(s) who counted:

Dmitry

** Non-Signalized Intersection **

Major Road: South Edgeware runs W/E

North Leg Total: 252
 North Entering: 134
 North Peds: 91
 Peds Cross: 2

Heavys	0	6	6
Trucks	0	0	0
Cars	74	54	128
Totals	74	60	



Heavys 0
 Trucks 3
 Cars 115
 Totals 118

East Leg Total: 518
 East Entering: 251
 East Peds: 0
 Peds Cross: 2

Heavys	Trucks	Cars	Totals
2	6	254	262

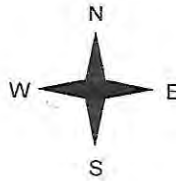
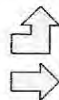


Dalewood Drive



Cars	Trucks	Heavys	Totals
62	1	0	63
180	6	2	188
242	7	2	

Heavys	Trucks	Cars	Totals
0	2	53	55
5	3	199	207
5	5	252	



South Edgeware

South Edgeware

Cars	Trucks	Heavys	Totals
253	3	11	267

Peds Cross: 2
 West Peds: 59
 West Entering: 262
 West Leg Total: 524

Comments

South Edgeware @ Dalewood Drive

Municipality: St. Thomas
 Major Road: South Edgeware
 Minor Road: Dalewood Drive

Major Road Runs: East/West
 Weather Condition: Cloudy, Rain
 Person No 1 Enver
 Person No 2

Date: October 18, 2016

Period Ending	North Approach						East Approach						South Approach						West Approach						Veh. Summary	
	Cars			Trucks			Cars			Trucks			Cars			Trucks			Cars			Trucks			Ped. Cross	Veh. Summary
	Left	Right	Thru	Left	Right	Thru	Left	Right	Thru	Left	Right	Thru	Left	Right	Thru	Left	Right	Thru	Left	Right	Thru	Ped. Cross				
7:15	4	0	7	0	0	0	0	6	19	0	0	0	0	0	0	0	0	0	19	15	0	0	0	0	70	
7:30	9	0	6	1	0	0	3	0	14	21	0	0	0	0	0	0	0	0	19	13	0	0	0	0	83	
7:45	9	0	13	0	0	0	1	0	11	18	0	2	2	0	0	0	0	0	28	17	0	0	0	0	100	
8:00	19	0	9	1	0	1	1	0	26	22	0	1	1	0	0	0	0	0	21	27	0	1	0	1	130	
8:15	14	0	16	0	0	1	0	0	45	11	0	2	0	0	0	0	0	0	18	25	0	0	0	0	133	
8:30	13	0	17	0	0	0	0	0	57	13	0	2	0	0	0	0	0	0	13	34	0	0	1	0	150	
8:45	12	0	32	0	0	0	10	0	78	23	0	1	0	0	0	0	0	0	26	61	0	0	1	0	160	
9:00	16	0	25	0	0	0	75	0	77	30	0	0	0	0	0	0	0	0	18	50	0	1	0	0	234	
11:15	6	0	9	0	0	0	1	0	23	3	0	1	1	0	0	0	0	0	9	28	0	0	1	0	81	
11:30	5	0	4	0	0	0	2	0	28	10	0	1	0	0	0	0	0	0	9	24	0	0	1	0	82	
11:45	5	0	6	0	0	0	3	0	26	12	0	0	0	0	0	0	0	0	6	25	0	0	2	0	82	
12:00	5	0	8	1	0	0	2	0	22	8	0	0	0	0	0	0	0	0	6	20	0	0	0	0	70	
12:15	6	0	5	1	0	0	0	0	43	9	0	1	0	0	0	0	0	0	8	25	0	0	0	0	80	
12:30	13	0	6	0	0	0	0	0	26	10	0	0	0	0	0	0	0	4	33	0	0	0	0	0	332	
12:45	8	0	9	0	0	1	0	0	22	11	0	2	0	0	0	0	0	0	8	27	0	1	1	0	342	
13:00	8	0	9	0	0	0	0	0	31	7	0	0	0	0	0	0	0	0	11	27	0	0	0	0	350	
14:15	5	0	1	0	0	0	0	0	22	7	0	0	0	0	0	0	0	0	10	27	0	0	1	0	73	
14:30	12	0	9	0	0	0	1	0	30	9	0	1	0	0	0	0	0	0	9	19	0	0	0	0	89	
14:45	11	0	9	0	0	0	0	0	29	14	0	3	0	0	0	0	0	0	8	36	0	0	1	0	111	
15:00	10	0	15	0	0	1	0	0	35	12	0	2	0	0	0	0	0	0	10	32	0	0	4	0	121	
15:15	11	0	18	0	0	0	7	0	52	15	0	4	0	0	0	0	0	0	10	19	0	1	1	0	131	
15:30	9	0	18	0	0	0	26	0	33	14	0	3	0	0	0	0	0	0	21	54	0	1	5	0	155	
15:45	17	0	13	6	0	0	65	0	58	22	0	1	0	0	0	0	0	0	5	72	0	0	2	0	163	
16:00	10	0	23	0	0	0	0	0	44	12	0	1	1	0	0	0	0	0	12	41	0	0	1	0	173	
16:15	18	0	20	0	0	0	0	0	45	14	0	3	0	0	0	0	0	0	15	32	0	1	0	0	183	
16:30	15	0	18	0	0	0	0	0	26	14	0	1	0	0	0	0	0	0	16	22	0	0	1	0	193	
16:45	23	0	21	0	0	0	2	0	41	18	0	1	0	0	0	0	0	0	23	28	0	0	0	0	203	
17:00	16	0	31	0	0	0	0	0	40	17	0	0	0	0	0	0	0	0	15	27	0	0	0	0	213	
17:15	19	0	23	0	0	0	0	0	28	16	0	1	0	0	0	0	0	0	19	40	0	0	0	0	223	
17:30	19	0	21	0	0	0	1	0	29	15	0	0	0	0	0	0	0	0	14	24	0	0	0	0	233	
17:45	20	0	23	0	0	1	0	0	23	17	0	1	0	0	0	0	0	0	12	13	0	0	0	0	243	
18:00	14	0	19	0	0	0	0	0	33	14	0	0	0	0	0	0	0	0	13	24	0	0	1	0	253	

78

First Avenue & South Edgeware Drive

Morning Peak Diagram

Specified Period

From: 7:00:00

To: 9:00:00

One Hour Peak

From: 8:00:00

To: 9:00:00

Municipality: St. Thomas
Site #: 0000000118
Intersection: South Edgeware Drive & First Avenue
TFR File #: 1
Count date: 14-Nov-2017

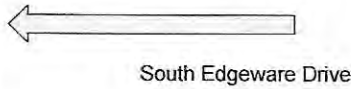
Weather conditions:
 Clear
Person(s) who counted:
 Dmitrii

**** Signalized Intersection ****

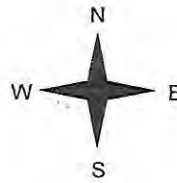
Major Road: South Edgeware Drive runs W/E

East Leg Total: 760
 East Entering: 425
 East Peds: 0
 Peds Cross: 8

Heavys	Trucks	Cars	Totals
16	6	263	285



Heavys	Trucks	Cars	Totals
9	2	151	162
1	2	71	74
10	4	222	



First Avenue



Cars	Trucks	Heavys	Totals
188	5	13	206
213	6	0	219
401	11	13	



South Edgeware Drive

Cars	Trucks	Heavys	Totals
315	7	13	335



Peds Cross: 8
 West Peds: 1
 West Entering: 236
 West Leg Total: 521

Cars	Trucks	Heavys	Totals
284	8	1	293



Cars	Trucks	Heavys	Totals
75	1	3	79
164	5	4	173
239	6	7	

Peds Cross: 8
 South Peds: 1
 South Entering: 252
 South Leg Total: 545

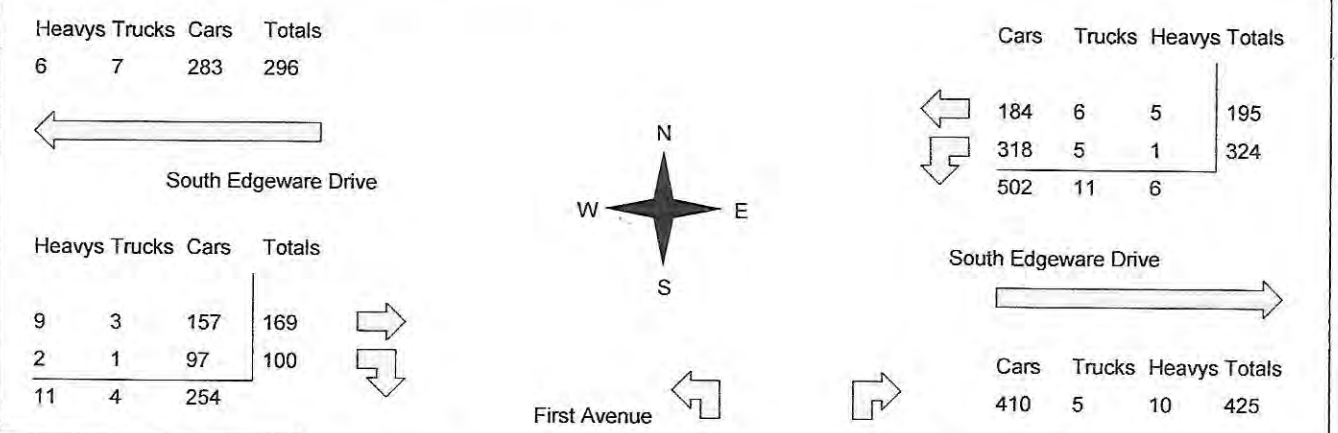
Comments

First Avenue & South Edgeware Drive

Afternoon Peak Diagram	Specified Period From: 14:00:00 To: 18:00:00	One Hour Peak From: 15:15:00 To: 16:15:00
Municipality: St. Thomas Site #: 0000000118 Intersection: South Edgeware Drive & First Avenue TFR File #: 1 Count date: 14-Nov-2017	Weather conditions: Clear Person(s) who counted: Dmitrii	

**** Signalized Intersection **** **Major Road:** South Edgeware Drive runs W/E

East Leg Total: 944
 East Entering: 519
 East Peds: 0
 Peds Cross: 8



Peds Cross: 8 West Peds: 10 West Entering: 269 West Leg Total: 565	Cars 415 Trucks 6 Heavys 3 Totals 424	Cars 99 Trucks 1 Heavys 1 Totals 101	Cars 253 Trucks 2 Heavys 1 Totals 256
Peds Cross: 8 South Peds: 0 South Entering: 357 South Leg Total: 781			

Comments

South Edgeware Drive @ First Avenue

Municipality: St. Thomas
 Major Road: South Edgeware Drive
 Minor Road: First Avenue

Major Road Runs: East / West
 Weather Condition: Clear
 Person № 1: Dmitrii
 Person № 2:

Date: November 14, 2017

Period Ending	North Approach						East Approach						South Approach						West Approach						Veh. Summary			
	Cars			Trucks			Ped. Cross	Cars			Trucks			Ped. Cross	Cars			Trucks			Ped. Cross	Veh. Summary						
	Left	Thru	Right	Left	Thru	Right		Left	Thru	Right	Left	Thru	Right		Left	Thru	Right	Left	Thru	Right								
7:15	0	0	0	0	0	0	20	23	0	5	0	0	7	0	28	1	0	0	2	0	0	28	8	0	1	0	1	123
7:30	0	0	0	0	0	0	32	20	0	3	0	0	9	0	30	0	0	2	0	0	0	29	11	0	1	0	2	137
7:45	0	0	0	0	0	0	41	23	0	2	4	0	3	0	29	0	0	1	0	0	0	23	12	0	0	0	0	138
8:00	0	0	0	0	0	0	49	37	0	2	2	0	9	0	49	0	0	3	1	0	0	32	17	0	0	2	0	202
8:15	0	0	0	0	0	0	56	35	0	4	5	0	21	0	45	0	0	1	1	0	0	30	16	0	1	0	1	214
8:30	0	0	0	0	0	0	53	37	0	0	2	0	19	0	40	3	0	1	0	0	0	32	13	0	1	0	0	207
8:45	0	0	0	0	0	0	47	51	0	1	10	0	18	0	40	0	0	3	0	0	0	45	14	0	4	2	0	235
9:00	0	0	0	0	0	0	57	65	0	1	1	0	17	0	39	1	0	4	0	0	0	44	28	0	5	1	0	283
11:15	0	0	0	0	0	0	40	35	0	2	2	0	15	0	58	0	0	1	0	0	0	25	16	0	0	0	1	195
11:30	0	0	0	0	0	0	35	31	0	0	0	0	12	0	47	0	0	1	0	0	0	18	17	0	0	0	2	161
11:45	0	0	0	0	0	0	61	23	0	0	1	0	14	0	51	0	0	0	0	0	0	19	16	0	0	0	1	185
12:00	0	0	0	0	0	0	54	24	0	3	0	0	12	0	65	0	0	4	1	0	0	26	8	0	0	0	1	196
12:15	0	0	0	0	0	0	46	22	0	3	1	0	15	0	59	0	0	2	0	0	0	20	8	0	0	1	1	177
12:30	0	0	0	0	0	0	59	22	0	1	0	0	16	0	62	0	0	0	0	2	0	25	23	0	0	0	0	203
12:45	0	0	0	0	0	0	57	30	0	2	1	0	16	0	69	0	0	3	0	0	0	25	14	0	2	0	0	219
13:00	0	0	0	0	0	0	53	28	0	3	2	0	15	0	59	0	0	3	0	0	0	26	13	0	0	0	2	202
14:15	0	0	0	0	0	0	60	18	0	1	1	0	11	0	64	0	0	1	3	0	0	38	10	0	1	0	2	205
14:30	0	0	0	0	0	0	54	23	0	6	1	0	17	0	70	0	0	3	1	0	0	19	10	0	1	1	0	205
14:45	0	0	0	0	0	0	64	23	0	0	3	0	16	0	56	0	0	3	0	0	0	35	15	0	0	0	2	215
15:00	0	0	0	0	0	0	56	32	0	3	1	0	17	0	59	1	0	0	0	0	0	30	12	0	5	1	4	217
15:15	0	0	0	0	0	0	73	49	0	1	6	0	24	0	72	1	0	3	0	0	0	23	13	0	2	1	5	268
15:30	0	0	0	0	0	0	64	46	0	2	6	0	34	0	53	1	0	0	0	0	0	35	15	0	3	1	3	282
15:45	0	0	0	0	0	0	95	65	0	2	1	0	21	0	60	0	0	1	0	0	0	58	36	0	7	0	5	346
16:00	0	0	0	0	0	0	72	31	0	1	0	0	22	0	59	0	0	2	0	0	0	34	29	0	1	0	4	251
16:15	0	0	0	0	0	0	87	42	0	1	4	0	22	0	81	1	0	0	0	0	0	30	17	0	1	0	0	286
16:30	0	0	0	0	0	0	71	33	0	1	2	0	23	0	83	0	0	1	0	0	0	18	27	0	0	2	0	261
16:45	0	0	0	0	0	0	92	56	0	0	1	0	21	0	69	0	0	3	0	0	0	24	14	0	1	0	2	281
17:00	0	0	0	0	0	0	65	37	0	3	0	0	16	0	69	0	0	0	0	0	0	27	20	0	0	0	1	237
17:15	0	0	0	0	0	0	64	46	0	0	1	0	27	0	80	0	0	0	0	0	0	27	22	0	0	0	3	267
17:30	0	0	0	0	0	0	72	29	0	3	0	0	23	0	58	0	0	3	1	0	0	21	23	0	0	0	0	232
17:45	0	0	0	0	0	0	72	19	0	1	2	0	18	0	59	0	0	2	0	0	0	25	13	0	1	0	2	212
18:00	0	0	0	0	0	0	67	32	0	1	0	0	14	0	50	0	0	0	0	0	0	19	11	0	0	0	3	194

FEB 23 2022

City Clerks Dept.

**CONFIRMATION OF A COMPLETE APPLICATION
APPLICATION FOR CONSENT**

February 22, 2022

Secretary-Treasurer, Committee of Adjustment
Attention: Jon Hindley

Pursuant to By-Law 30-2015, multiple consultation meetings were held with Planning Department Staff and the applicant (December 2020, March 2021 and July 2021).

An application for Consent, regarding 30 South Edgeware Road, was filed on February 16, 2022.

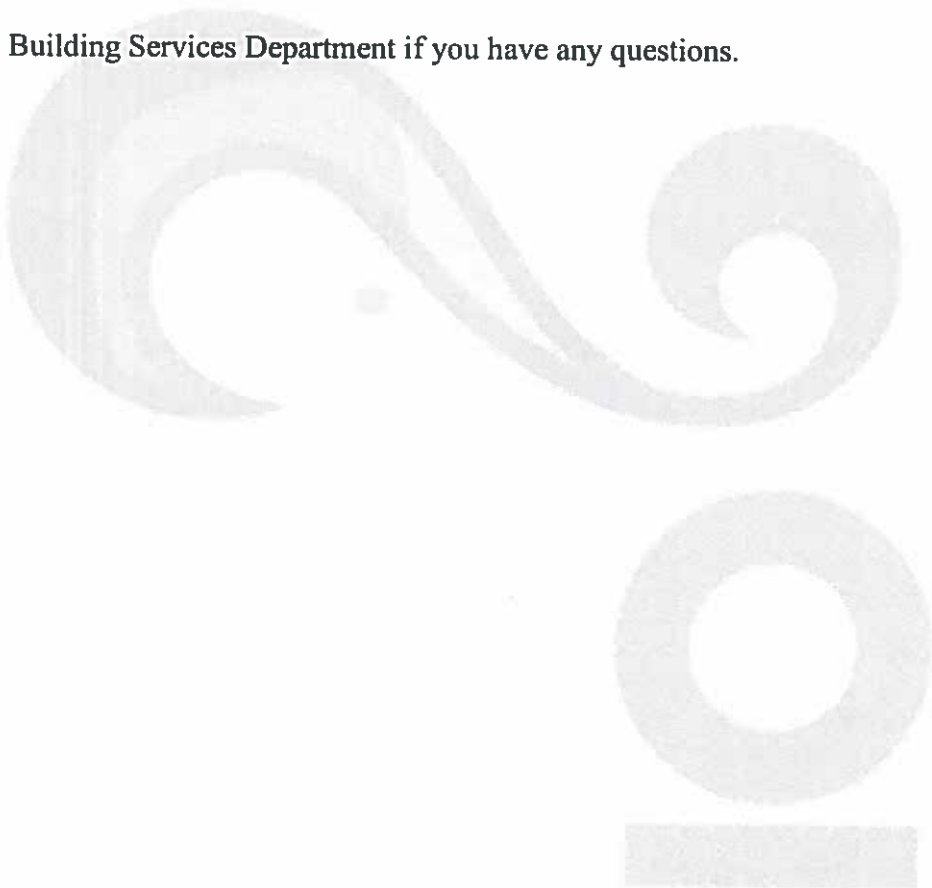
This letter is notice that the information and material required under Subsections 53(2) and 53(3) and the required fee under Section 69 of the Planning Act has been provided and the application for consent is thereby considered complete.

Please contact the Planning & Building Services Department if you have any questions.

Yours truly,



Jim McCoomb, MCIP, RPP
Manager of Planning Services





Clear Form

THE CORPORATION OF THE CITY OF ST THOMAS

COMMITTEE OF ADJUSTMENT

APPLICATION FOR CONSENT

OFFICE USE: Date Application Received: FEB 14 2022 Consultation Date: Dec 2020/ March July 2021
Date Application Deemed Complete: Feb. 22/22

Application #: B02/22

APPLICATION IS HEREBY MADE TO:

City of St. Thomas
545 Talbot Street
St. Thomas ON N5P 3V7
Tel: (519) 631-1680 ext 4125 Fax: (519) 633-9019
Email: jhindley@stthomas.ca

Please note that in accordance with By-Law 30-2015, consultation with the Planning and Building Services Department must take place prior to the submission of an application. After consultation, the application will be filed with the Assistant Secretary-Treasurer, together with the sketch referred to in Note 1 and \$450 made payable to the City of St. Thomas. All information and materials submitted for the application shall be made available to the public, as indicated by Section 1.0.1 of the Planning Act, R.S.O. 1990.

Personal information contained on this form is collected under the authority of the Planning Act, R.S.O. 1990, as amended, and Ontario Regulation 200/96 and will be used for the purpose of processing this application.

1. (a) Registered Owner(s): JEG Home Solutions Inc.

Mailing Address: 6508 Westdel Bourne, London

Postal Code: N6P 1P3 Telephone: 519-614-7870 Fax:

email: apatten@hotmail.com

(b) Owner's Solicitor or Authorized Agent (if any): Deren Lyle (CJDL Consulting Engineers)

Mailing Address: 261 Broadway, P.O. Box 460, Tillsonburg

Postal Code: N4G 4H8 Telephone: 519-688-1000 Fax: 519-842-3235

email: dlyle@cjdleng.com

(c) Please specify to whom all communications should be sent:

Owner [] Solicitor [] Agent [x]

2. (a) Type and purpose of proposed transaction: (Check appropriate space/s)

- [x] Creation of New Lot [] Disposal of Surplus Farm Dwelling
[] Addition to Lot [] Correction of Title
[] Mortgage or Charge [] Partial Discharge of Mortgage
[] Lease [] Right-of-way

Easement

(b) If a lot addition, identify the lands to which the parcel will be added:

Name of person(s), if known, to whom land or interest in land is intended to be transferred, charged or leased:

Alan Patten

3. Are there any existing easements or restrictive covenants affecting the land?

Yes No

If "Yes" describe the easement or covenant and its effect: _____

4. Location of land:

Municipality (City/Town/Township) City of St. Thomas

Concession No _____ Lot(s) Lot 5 Registered Plan No _____ Lot(s) _____

Reference Plan No _____ Part(s) Part 1

Name of Street South Edgeware Road Street No 30

5. Description of land to be severed: (in metric units) Part No. on sketch Lot 2

(a) Frontage 33.2m Depth 29.3m Area 982 m2

(b) Existing Use Residential (R1) Proposed Use Residential (R3A)

(c) Existing and proposed buildings and structures on the subject land:

Existing: No Structures

Proposed: 3-Unit Townhouse Dwelling (Single Detached Dwelling to be Remain)

6. Description of land to be retained: (in metric units) Part No. on sketch Retained

(a) Frontage 31.3m Depth 67.9m Area 2134 m2

(b) Existing Use Residential (R1) Proposed Use Residential (R1)

(c) Existing and proposed buildings and structures on the land to be retained:

Existing: Single Detached Dwelling

Proposed: Existing Single Detached Dwelling

7. (a) Type of access to severed land:

- | | |
|--|--|
| <input type="checkbox"/> Provincial Highway | <input type="checkbox"/> Regional Road |
| <input checked="" type="checkbox"/> Municipal Road maintained all year | <input type="checkbox"/> Other Public Road |
| <input type="checkbox"/> Municipal Road maintained seasonally | <input type="checkbox"/> Right-of-Way |
| <input type="checkbox"/> Water Access | <input type="checkbox"/> Private Road |

(b) Type of access to retained land:

- | | |
|--|--|
| <input type="checkbox"/> Provincial Highway | <input type="checkbox"/> Regional Road |
| <input checked="" type="checkbox"/> Municipal Road maintained all year | <input type="checkbox"/> Other Public Road |
| <input type="checkbox"/> Municipal Road maintained seasonally | <input type="checkbox"/> Right-of-Way |
| <input type="checkbox"/> Water Access | <input type="checkbox"/> Private Road |

8. What type of water supply is proposed? (Check appropriate space)

TYPE	PROPOSED LOT	RETAINED LOT
Publicly owned and operated piped water system	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Other (specify) _____	_____	_____

9. What type of sewage disposal is proposed? (Check appropriate space)

TYPE	PROPOSED LOT	RETAINED LOT
Publicly owned and operated sanitary sewage system	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Other (specify) _____	_____	_____

10. What is the current designation of the subject land in any applicable official plan?

- (a) Local Municipal Official Plan Residential
- (b) Regional Policy Plan _____

11. (a) Has the subject land ever been the subject of an application for approval of a plan of subdivision under Section 51 of The Planning Act or a consent under Section 53 of The Act?

Yes No

(b) If the answer to (a) is "Yes", please provide the following information:

File Number: _____

Status: _____

12. (a) Has any land been severed from the parcel originally acquired by the owner of the subject land?

Yes No

(b) If the answer to (a) is "Yes", please indicate previous severances on the required sketch and supply the following information for each lot severed:

Grantee's (Purchaser's) name _____

Land Use on severed parcel _____

Date parcel transferred _____

Consent file number (if known) B _____

13. (a) Is the subject land the subject of any other application under the Planning Act e.g. approval of a plan of subdivision; a consent application; an application for an amendment to an official plan amendment; a zoning by-law or a Minister's zoning order, or a minor variance?

Yes No

(b) If the answer of (a) is "Yes", please provide the following information:

File Number: Not assigned at time of application

Status: Submitted concurrently with Consent Application

14. (a) Is the proposed consent application consistent with the Policy Statements issued under subsection 3(1) of the Planning Act?

Yes No

(b) Are the subject lands within an area of land designated under a Provincial Plan or Plans?

Yes No

(c) If the answer to (b) is "yes" does the proposed consent application conform to or does it not conflict with the Provincial Plan or Plans?

Yes No

15. As provided for in Ontario Regulation 197/96, and as required by this Committee of Adjustment, an application must be accompanied by a preliminary drawing prepared, signed and dated by an Ontario Land Surveyor, showing the information set out below. In the case of multiple applications, one drawing plus one extra copy for each additional application will suffice.
- (a) the boundaries and dimensions of any land abutting the subject land that is owned by the owner of the subject land;
 - (b) the distance between the subject land and the nearest township lot line or landmark such as a bridge or railway crossing;
 - (c) the boundaries and dimensions of the subject land, the part that is to be severed and the part that is to be retained;
 - (d) the location of all land previously severed from the parcel originally acquired by the current owner of the subject land;
 - (e) the approximate location of all natural and artificial features on the subject land and on the land that is adjacent to the subject land that, in the opinion of the applicant, may affect the application, such as buildings, railways, roads, watercourses, drainage ditches, river or stream banks, wetlands, wooded areas, wells and septic tanks;
 - (f) the existing uses on adjacent land, such as residential, agricultural and commercial uses;
 - (g) the location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right of way;
 - (h) if access to the subject land is by water only, the location of the parking and boat docking facilities to be used;
 - (i) the location and nature of any easement affecting the subject land.
16. One copy of this application form is to be filed for each subject parcel, together with the preliminary drawing and the applicable application fee in cash, money order or by cheque made payable to the City of St. Thomas.

APPLICANT DECLARATION

By making this application, permission is hereby granted to any Municipal staff members and Municipal Planning Consultant to enter upon the premises described in this application at a reasonable time for the purpose of inspecting the property in relation to the proposed application and for distributing information concerning the same. This information is being collected pursuant to the Planning Act, Municipal Act, and Freedom of Information Act. The information contained herein will be distributed to bodies and agencies prescribed by legislation and regulation and also to interested parties.

If this application is signed by an agent or solicitor on behalf of an applicant, the owner's written authorization must accompany the application (**Appendix A**). If the applicant is a corporation acting without an agent or solicitor, the application must be signed by an officer of the corporation and the corporation's seal (if any) must be affixed.

MUNICIPAL FREEDOM OF INFORMATION AND PROTECTION OF PRIVACY ACT

Application information is collected under the authority of the Planning Act, R.S.O. 1990, c.P.13. In accordance with that Act, it is the policy of the City of St. Thomas to provide public access to all Planning Act applications and supporting documentation submitted to the City.

I, Deren Lyle, the Owner or Authorized Agent, hereby agree
(Print name of Owner or Authorized Agent)

and acknowledge that the information contained in this application and any documentation, including reports, studies and drawings, provided in support of the application, by myself, my agents, consultants and solicitors, constitutes public information and will become part of the public record. As such, and in accordance with the provisions of the *Municipal Freedom of Information and Protection of Privacy Act*, R.S.O. 1990, c.M. 56, I hereby consent to the City of St. Thomas making this application and its supporting documentation available to the general public, including copying and disclosing the application and its supporting documentation to any third party upon their request.

Collection of Personal Information:

Personal information on this form is collected under the authority of Section 41 of the *Planning Act*, R.S.O. 1990 and Sections 8 (1) and 10 of the *Municipal Act*, 2001, as amended, and will be used to contact the owner, applicant and/or agent regarding the Committee of Adjustment Application. Questions about this collection should be directed to the City Clerk, 545 Talbot Street, St. Thomas, Ontario, N5P 2T9, (519) 631-1680.

AFFIDAVIT OR SWORN DECLARATION

I, Deren Lyle of Township of Southwold in the province of Ontario,
name of applicant City

make oath and say (or solemnly declare) that the information required under Schedule 1 of Ontario Regulation 545/06 and provided by the applicant in this application is accurate, and that the information contained in the documents that accompany this application is accurate.


Sworn (or declared) before me at the City of St. Thomas on this 14 day of February, 2022.
City Day Month Year



Signature of Owner or Authorized Agent

14 FEB 2022

Date



Signature of Commissioner of Oaths, etc.

Feb 14/22

Date

Crystal Marie Penney, a Commissioner, etc.,
Province of Ontario, for the
Corporation of the City of St. Thomas.
Expires September 18, 2022.

APPENDIX A – AUTHORIZATION OF OWNER

If the applicant is not the owner of the subject lands, please complete the owner authorization concerning personal information as set out below.

I, Alan Patten, am the owner of the subject lands, and I authorize Deren Lyle, to act on our behalf as the agent for the submissions required for all matters relating to the subject lands, and to provide any of my personal information that will be included in this application or collected during the planning process.

Dec 6, 2021
Date

Alan Patten
Signature of Owner

APPENDIX B – ACKNOWLEDGEMENT OF LEGAL AND PLANNING FEES

In addition to the application fees listed in this application package, please note that where the City requires assistance from its solicitors or other technical or professional consultants in the processing of this application, the applicant shall be responsible for reimbursing all fees incurred by the City.

***Please note, Appendix B must be completed by the owner, not the authorized agent.**

I, Alan Patten, am the owner of the subject lands, and I understand that further fees may be incurred by the City throughout the planning process and that I am responsible for reimbursing all fees.

Dec 6, 2021
Date

Alan Patten
Signature of Owner

PROCEDURES FOR PROCESSING APPLICATIONS FOR CONSENT

Under the provisions of Sections 50 and 53 of The Planning Act, as amended, the approval of the Committee of Adjustment is required for land transactions covering the separation of a parcel of land from existing holdings. This approval is called a "consent". Consent is also required for leases, rights-of-way or easements if such extend beyond a period of 21 years and to mortgage or discharge a mortgage over part of a parcel of land.

As provided for by The Planning Act and Regulation 197/96 under The Act, every application for consent must be brought to the attention of certain authorities and to property owners within 60 metres of the subject land, either by personal service or by advertising in a newspaper which has general circulation in the area. In addition, other agencies will be consulted if the location of the subject lands falls within their respective field of responsibility.

It is this Committee's policy to conduct a public hearing on each application for consent. Notice of this hearing is circulated to the applicant/agent/solicitor and all other persons or agencies as required at least 10 days prior to the date of hearing.

Prior to the hearing, members of the Committee may examine the lands which are the subject of the application.

Following the hearing, the applicant/agent/solicitor is notified in writing of the decision of the Committee. In addition, any other person or agency who files a written request for the decision of the Committee or attends the hearing will be sent a copy of the decision.

Anyone objecting to the decision of the Committee or the condition(s) imposed by the Committee may appeal either the decision and/or the conditions of consent to the Local Planning Appeal Tribunal within 20 days after the giving of the notice of decision. The notice of appeal, together with written reasons supporting the appeal and the fee by cheque or money order payable to the Minister of Finance must be filed with the Secretary-Treasurer, who in turn, will forward the appeal to the Local Planning Appeal Tribunal. The Fees and Charges, found on the Local Planning Appeal Tribunal's website, outlines the costs associated with filing an LPAT appeal. All parties to the appeal will receive any further notice concerning the appeal directly from the Local Planning Appeal Tribunal.

Prior to final consent being issued, written proof must be submitted to the Secretary-Treasurer to the effect that any conditions imposed by the Committee in granting consent have been fulfilled. According to the Act, if the consent granted by the Committee is conditional, the conditions must be fulfilled within one year of the giving of the notice of decision. Failure to do so will cause the consent to lapse.

Preliminary Discussion and Pre-consultation

Prior to submission of an application, the Applicant/Agent must discuss the proposed application with the City's Planning and Building Services Department and other agencies to determine the requirements for a complete application. The City and any affected agency may also require additional background reports in support of the application in order for the application to be considered complete. The purpose of pre-consultation is to ensure that the applicant is aware of the required supporting information before an application is submitted in order to prevent delays in processing the application. In some cases it may be necessary to schedule a pre-consultation meeting with the City and affected agencies.

POLICIES

The requirements to complete one application are:

One fully completed application for consent form signed by the applicant(s) or authorized agent and properly witnessed by a Commissioner for the taking of affidavits.

A letter of authorization from the applicant(s) or applications which are signed by someone other than the owner(s).

A preliminary drawing which has been prepared, dated and signed by an Ontario Land Surveyor, showing all information referred to in item 14 of the application form.

Payment of \$450. Cheques are to be made payable to the "City of St. Thomas" There is an additional fee of \$200 for deed stamping if the consent is approved and all conditions are met.

Someone must be present at the hearing to represent the application.

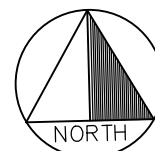
Decisions of the Committee are made in public.

In granting consent to an application, the Committee may impose conditions as requested by municipal or other authorities such as the following:

That payment of 5% of the value of the subject parcel be made to the local municipality for parks purposes or dedication of 5% of the subject land to the municipality for parks purposes.

That an agreement with the local municipality be entered into for installation of such municipal services as may be required, at the expense of the applicant and to standards acceptable to the municipality.

That land be deeded gratuitously to the local or Regional municipality for road widening purposes.



SCALE 1:500

SKETCH FOR SEVERANCE
30 SOUTH EDGEWARE ROAD
PART OF LOT 5
RANGE SOUTH OF EDGEWARE ROAD
GEOGRAPHIC TOWNSHIP OF YARMOUTH
CITY OF ST. THOMAS
P.I.N. 35164-0037

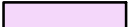

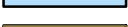

PLAN PREPARED BY:



Cyril J. Demeyere Limited
P.O. Box 460, 261 Broadway
Tillsonburg, Ontario, N4G 4H8
Tel: 519-688-1000
856-302-9886
Fax: 519-842-3235
cjd@cjdeng.com
14 FEB 2022

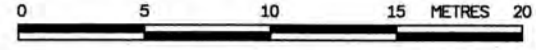
20064

LEGEND

-  SEVERANCE BOUNDARY
-  LANDS TO BE RETAINED 2134m²
-  LANDS TO BE SEVERED (LOT 1) 1010m²
-  LANDS TO BE SEVERED (LOT 2) 982m²
-  3m SIGHT TRIANGLE 4.5m²



SURVEYOR'S REAL PROPERTY REPORT
 (PART 1) PLAN OF
PART OF LOT 5
RANGE SOUTH OF EDGEWARE ROAD
GEOGRAPHIC TOWNSHIP OF YARMOUTH
CITY OF ST. THOMAS
COUNTY OF ELGIN

SCALE 1:300 
METRIC DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048
 THE INTENDED PLOT SIZE OF THIS PLAN IS 711mm IN WIDTH BY 646mm IN HEIGHT WHEN PLOTTED AT A SCALE OF 1:300

KIM HUSTED SURVEYING LTD.


(PART 2)
REPORT SUMMARY (TO BE READ IN CONJUNCTION WITH PLAN OF SURVEY)
 REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY: NONE REGISTERED ON TITLE
 COMPLIANCE WITH MUNICIPAL OFFICIAL PLANS AND ZONING BY-LAWS: NOT CERTIFIED BY THIS REPORT
 ADDITIONAL REMARKS: PROPERTY DESCRIPTION: PART OF LOT 5, 1st RANGE SOUTH OF EDGEWARE ROAD, GEOGRAPHIC TOWNSHIP OF YARMOUTH, CITY OF ST. THOMAS, COUNTY OF ELGIN, ALL OF P.I.N. 35164-0037
 SUBJECT PROPERTY AREA = 4436.8 SQ. METERS
 AREA OF SUBJECT PROPERTY COVERED BY DWELLING AND SHED = 171.2 SQ. METERS
 COVERAGE = 3.9 %

THIS SURVEYOR'S REAL PROPERTY REPORT HAS BEEN PREPARED FOR ALAN PATTEN AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHERS

SURVEYOR'S CERTIFICATE

I CERTIFY THAT
 (1) - THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM
 (2) - THIS SURVEY WAS COMPLETED ON THE 24th DAY OF SEPTEMBER, 2020

OCTOBER 6, 2020
 DATE


 KIM S. HUSTED
 ONTARIO LAND SURVEYOR

THIS REPORT CAN BE UPDATED BY KIM HUSTED SURVEYING LTD. HOWEVER NO ADDITIONAL PRINTS OF THIS ORIGINAL REPORT WILL BE ISSUED SUBSEQUENT TO THE DATE OF CERTIFICATION

NOTES

(1) - BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE WESTERLY LIMIT OF WOODWORTH AVENUE AS SHOWN ON REGISTERED PLAN 243 HAVING A BEARING OF N 00° 31' 30" E

LEGEND

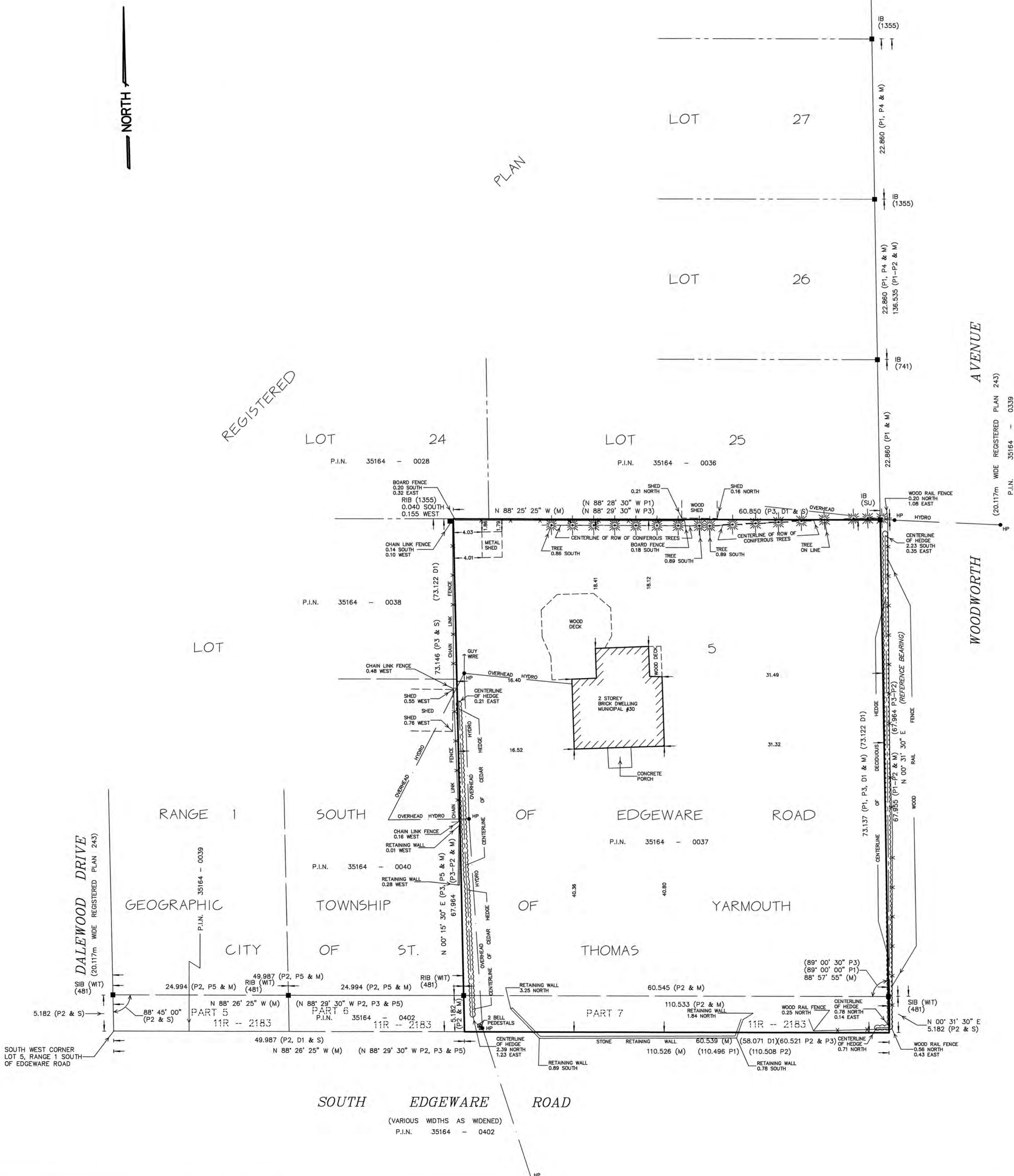
■	NOTES	SURVEY MONUMENT FOUND
□	NOTES	SURVEY MONUMENT SET
IB	NOTES	STANDARD IRON BAR
IB	NOTES	IRON BAR
RB	NOTES	ROUND IRON BAR
(417)	NOTES	WITNESS
(481)	NOTES	F.A. BELL, O.L.S.
(741)	NOTES	D.J. HOUGHTON, O.L.S.
(1355)	NOTES	BRIAN VAUGHAN SURVEY LTD.
(319)	NOTES	SOURCE UNKNOWN
(P1)	NOTES	REGISTERED PLAN 243
(P2)	NOTES	DEPOSITED PLAN 11R-2183
(P3)	NOTES	PLAN OF SURVEY BY BRIAN VAUGHAN SURVEY LTD. FILE: 85-149, DATED: JUNE 30, 1985
(P4)	NOTES	PLAN OF SURVEY BY BRIAN VAUGHAN SURVEY LTD. FILE: 01-64, DATED: JULY 9, 2001
(P5)	NOTES	PLAN OF SURVEY BY BRIAN VAUGHAN SURVEY LTD. FILE: 85-40, DATED: FEBRUARY 27, 1985
(D1)	NOTES	INSTRUMENT E388476, P.I.N. 35164-0037
(D2)	NOTES	MEASURED
(S)	NOTES	SET
P.I.N.	NOTES	PROPERTY IDENTIFICATION NUMBER

THIS IS NOT AN ORIGINAL COPY UNLESS EMBOSSED WITH SEAL

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 THE REPRODUCTION, ALTERATION, OR USE OF THIS REPORT IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF KIM HUSTED SURVEYING LTD. IS STRICTLY PROHIBITED


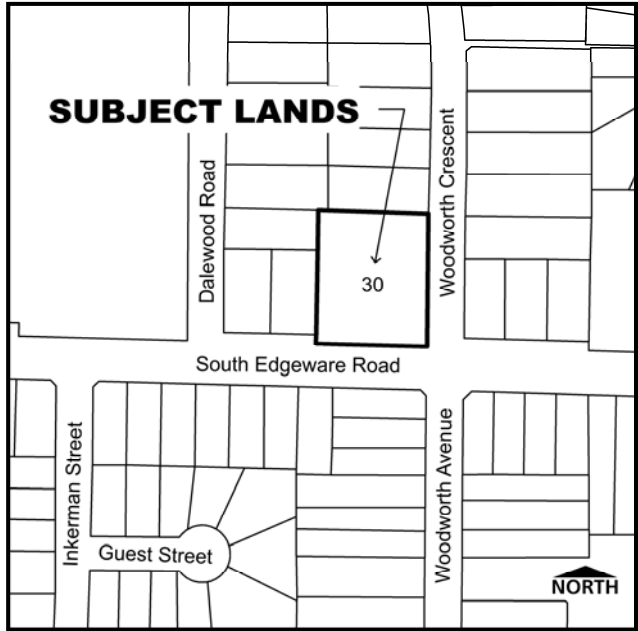
KIM HUSTED SURVEYING LTD.
 ONTARIO LAND SURVEYOR
 30 HARVEY STREET, TILSONBURG, ONTARIO, N4G 3J8
 PHONE: 519-842-3638 FAX: 519-842-3639

PROJECT: 20-16114 REFERENCE: HF1 DISK No. 646



ASSOCIATION OF ONTARIO LAND SURVEYORS
 PLAN SUBMISSION FORM
 2139807

 THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR
It conforms with Regulation 326, Section 29(3)

 <p>The Corporation of the City of St. Thomas</p>	<p>Report No.: B01-2022 & B02-2022</p>
<p>Directed to: Members of the Committee of Adjustment</p>	<p>Applicant: JEG Home Solutions Inc.</p> <p>Report Date: March 11, 2022</p> <p>Meeting Date: March 24, 2022</p>
<p>Location: 30 South Edgeware Road, Range SER, Part Lot 5, City of St. Thomas</p>	
<p>Subject: Request for a consent pursuant to Section 53 of the Planning Act, R.S.O, as amended</p>	
<p>Department: Planning Department</p> <p>Prepared by: Steve Craig, Senior Planning Technician</p>	<p>Attachments:</p> <p>Location Plan and Aerial Photograph</p>
<p>Recommendation:</p> <p>That: Report B01-2022 and Report B02-2022 be received.</p>	
<p>BACKGROUND</p> <p>Consent Application B01/22 has been filed for the purpose of creating one lot for the development of a townhouse dwelling, containing three dwelling units.</p> <p>Consent Application B02/22 has been filed concurrently for the purpose of creating one lot for the development of a townhouse dwelling, containing three dwelling units.</p> <p>PROPOSAL (Application B01/22)</p> <p>The applicant is proposing to sever one vacant lot with frontage of 34.7m on Woodworth Crescent and an area of 1,010sqm, proposed to be used for residential purposes (Townhouse Dwelling, containing three dwelling units). The applicant is proposing to retain one lot with frontage of 31.3m on South Edgeware Road and an area of 2,134sqm, containing one single detached dwelling, proposed to continue to be used for residential purposes.</p>	<p>LOCATION PLAN:</p> 

PROPOSAL (Application B02/22)

The applicant is proposing to sever one vacant lot with frontage of 33.2m on Woodworth Crescent and an area of 982sqm, proposed to be used for residential purposes (Townhouse Dwelling, containing three dwelling units). The applicant is proposing to retain one lot with frontage of 31.3m on South Edgeware Road and an area of 2,134sqm, containing one single detached dwelling, proposed to continue to be used for residential purposes.

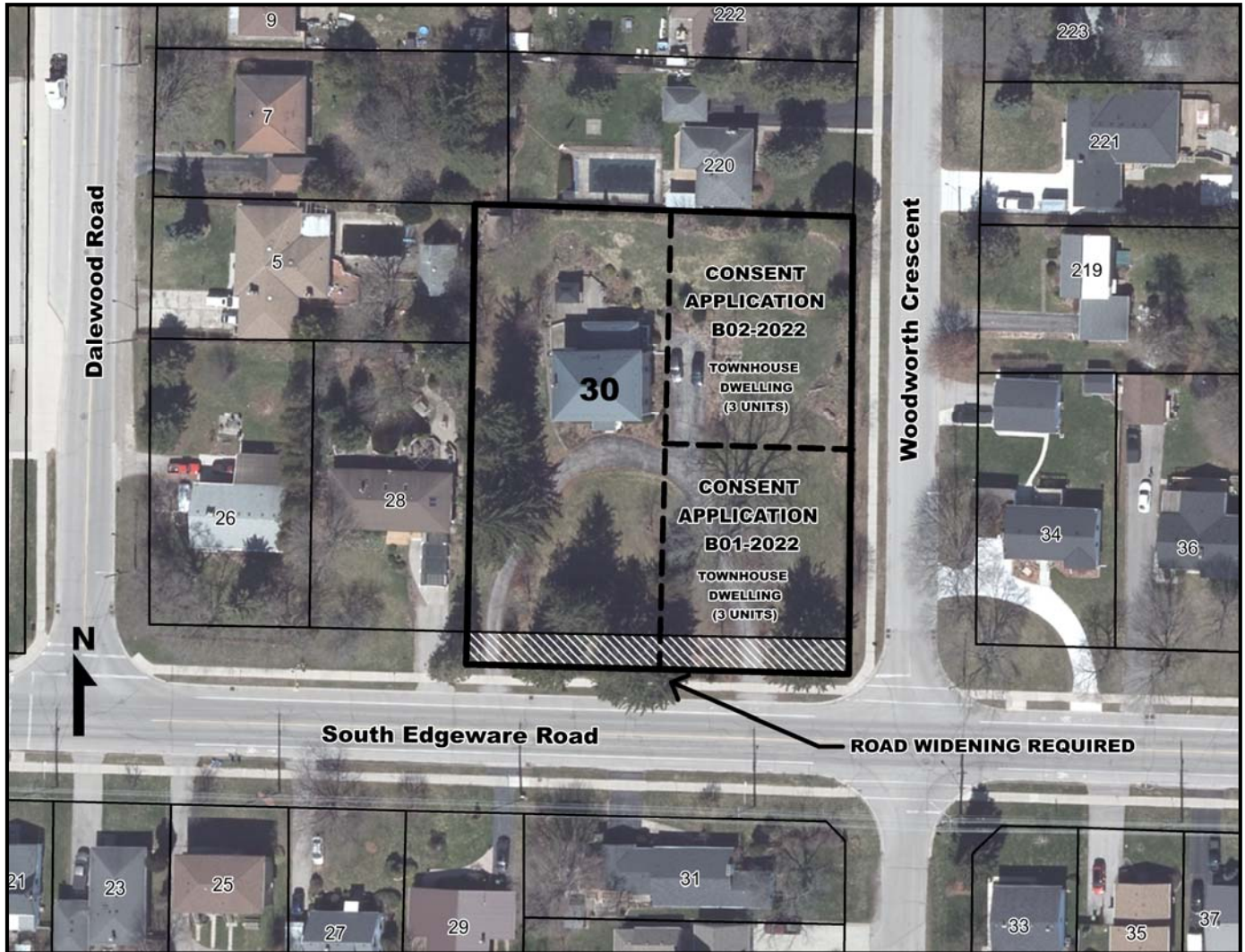
CITY OF ST. THOMAS OFFICIAL PLAN

- The subject lands are within the Residential designation, as shown on Schedule "A" (Land Use Plan) to the Official Plan for the City of St. Thomas. The Residential designation means the predominant use of land shall be for low, medium and high density residential uses (5.1.3.1).
- Applications for new development, infilling or redevelopment for a medium density residential use shall be reviewed based on Subsection 5.1.3.3 (Medium Density Residential) of the Official Plan.
- Redevelopment/Infill for the purposes of the Plan is defined as new residential development within an established neighbourhood, on vacant or underutilized sites and may occur by consent (5.1.3.6). Projects requiring an amendment to the zoning by-law will require the submission of a planning analysis to determine the appropriateness of the proposed development and to identify ways of mitigating any potential adverse impacts on surrounding uses (5.1.3.6(vii)).
- In accordance with the Medium Density Residential and Redevelopment/Infill policies of the Official Plan the applicant has filed a Planning Justification Report, prepared by Zelinka Priamo Ltd., dated November 11, 2021.
- Schedule "B" (Roads Plan) classifies South Edgeware Road as a Minor Arterial with Bike Lane. Arterial streets carry large volumes of all types of traffic at relatively high speeds, Arterial streets provide a through route in the city and traffic flow should only be interrupted at traffic lights. Right-of-way, road widths and construction standards shall be appropriate for the function and expected traffic volume (9.1.1.6).
- The planned roadway widening and intersection improvements for the 2026 Road Network Plan are as shown on Schedule "C" (Road Widening Plan). The right-of-way widths indicate the minimum planned widths of the road right of ways that may be secured as part of the development approval process (9.1.10.1). South Edgeware Road from Balaclava Street to Centennial Avenue is identified as a 29m road allowance. As a condition of development approval, the City will require that sufficient lands be conveyed to provide for a road right-of-way in accordance with the designated width as shown on Schedule "C" – Road Widening Plan. Road widenings shall be reserved or obtained, at no cost to the City, through subdivision approval, condominium approval, land severance consent, site plan approval or by gift, bequeathment, purchase or through expropriation where necessary and feasible. (9.1.10.2).

CITY OF ST. THOMAS ZONING BY-LAW 50-88

- The subject lands are in the First Residential Zone (R1), as shown on Zoning Map 2, pursuant to the City of St. Thomas Zoning By-Law No. 50-88, as amended.
- Permitted uses of the R1 zone include a single detached dwelling (5.1(a)), for a single detached dwelling the minimum lot area required is 464sqm and the minimum lot frontage required is 15m (Table 1 to Subsection 5.4, Column Number 2, Item 1 and 2).
- The permitted uses of the R1 zone do not include a townhouse dwelling (5.1), however the applicant has filed a zoning by-law amendment application concurrently, the lot requirements for a townhouse dwelling include a minimum lot area of 185sqm per dwelling unit and a minimum lot frontage of 21m.

2020 AERIAL PHOTOGRAPH



COMMENTS

- The Manager of Development and Compliance, Environmental Services Department provided the following comments:
 - 1) The applicant shall enter into a development agreement with the city as a condition of this consent.
 - 2) All municipal services shall be from Woodworth Crescent, as per the servicing drawings supplied for this application.
 - 3) The drainage/storm sewer easement along the rear of Lot 1 and 2 shall be registered on title for these properties.
 - 4) All drawings in association with work for this application (ie. Site servicing, site grading, removals, etc.) shall be submitted to the city for final approval and attached to the development agreement for this application.
 - 5) All appropriate fees for site servicing, ROW occupancy permits, water tap permits, and other permits as needed to support this work shall be obtained and paid by the applicant to the City.
 - 6) SWM strategy for this development shall demonstrate for both minor (5year) and major (100year) flows are being retained to pre-development flow rates.
 - 7) All work done in the City's ROW of Woodworth Crescent and South Edgeware Road shall be done in accordance with the City's Design Guidelines Manual and Standard Contract Documents.

- In staff's opinion Consent Application B01-2022 and B02-2022 conform with the City of St. Thomas Official Plan, City of St. Thomas Zoning By-law 50-88 and satisfies the criteria of Section 51(24) of the Planning Act, R.S.O, as amended. Therefore, approval of the applications is supportable, should the Committee of Adjustment approve the applications staff recommends the following conditions:
 - 1) Approval of a zoning by-law amendment to permit the development of townhouse dwellings on the severed lots;
 - 2) The applicant enters into a development agreement with the Corporation of the City of St. Thomas;
 - 3) The applicant satisfies the comments provided by the Manager of Development and Compliance, Environmental Services Department;
 - 4) The applicant shall convey to the Corporation of the City of St. Thomas, at no cost to the City, and free of all charge and encumbrances, the necessary road widening along South Edgeware Road, to be determined by a legal survey, and to be shown on the reference plan with all legal, surveying, land registration and administrative costs related to the road widening to be borne by the applicant;
 - 5) The payment of cash-in-lieu of the dedication of 5% of the lands for parkland purposes; and
 - 6) The Corporation of the City of St. Thomas be provided with a copy of the reference plan.

Respectfully submitted,



Steve Craig
Senior Planning Technician

MAR 01 2022

City Clerk Dept.

CONFIRMATION OF AN APPLICATION FOR MINOR VARIANCE

March 1, 2022

Secretary-Treasurer, Committee of Adjustment
Attention: Jon Hindley

Pursuant to By-Law 30-2015, consultation meetings were held on January 12/22 and February 9/22 with Planning staff and the applicant.

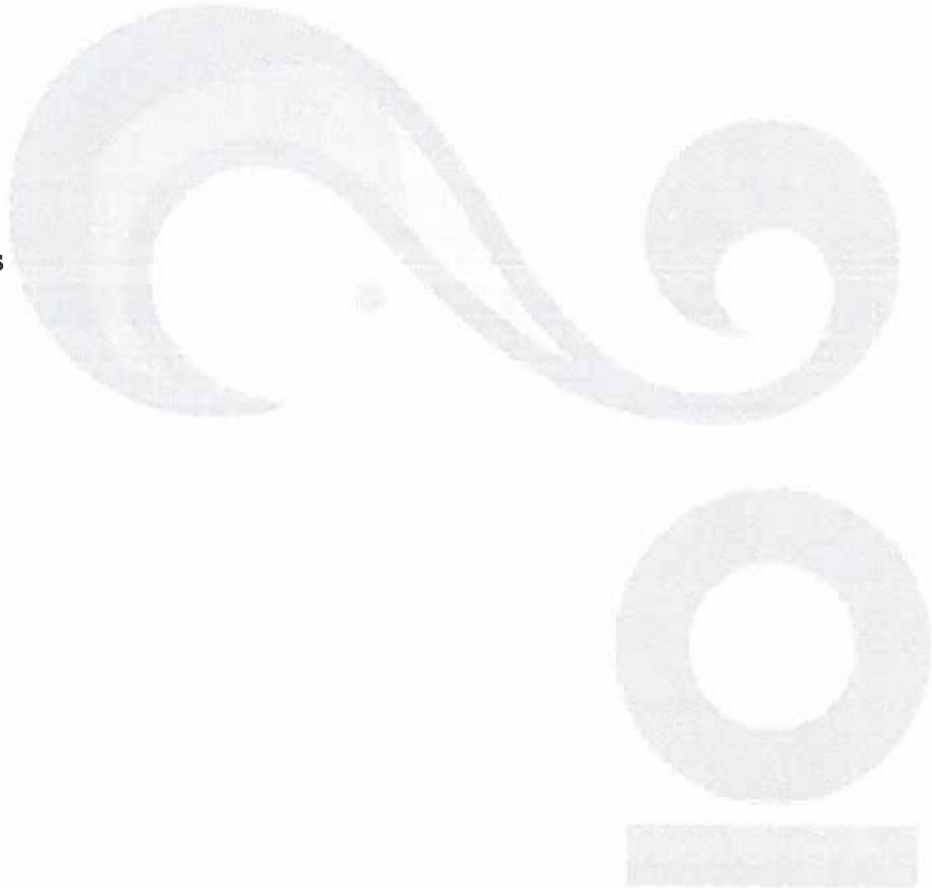
An application for a Minor Variance, regarding 90 Fairview Avenue, was filed on March 1, 2022 and the required fee under Section 69 of the Planning Act has been provided.

Please contact the Planning & Building Services Department if you have any questions.

Regards,



Jim McCoomb, MCIP, RPP
Manager of Planning Services





Clear Form

CORPORATION OF THE CITY OF ST THOMAS

COMMITTEE OF ADJUSTMENT

APPLICATION FOR MINOR VARIANCE OR FOR PERMISSION

(Section 45 of the Planning Act, RSO, 1990, as amended)

OFFICE USE: Date Application Received: MAR 01 2022 Consultation Date: Jan 12/22/Feb 9/22 Date Application Deemed Complete: MAR 01 2022

Application #: A05/22

APPLICATION IS HEREBY MADE TO:

City of St. Thomas
545 Talbot Street
St. Thomas ON N5P 3V7
Tel: (519) 631-1680 ext 4125 Fax: (519) 633-9019
Email: jhindley@stthomas.ca

Please note that in accordance with By-Law 30-2015, consultation with the Planning and Building Services Department must take place prior to the submission of an application. After consultation, the application will be filed with the Assistant Secretary-Treasurer, together with the sketch referred to in Note 1 and \$400 made payable to the City of St. Thomas. All information and materials submitted for the applications shall be made available to the public, as indicated by Section 1.0.1 of the Planning Act, R.S.O. 1990.

Personal information contained on this form is collected under the authority of the Planning Act, R.S.O. 1990, as amended, and Ontario Regulation 200/96 and will be used for the purpose of processing this application.

1. Name of Owner(s) Jean T. Celocia and Victoriano A. Celocia Jr.
Address 90 Fairview Avenue, St. Thomas Ontario

Postal Code N5R4X6 Tel: 519 694 1208 e-mail: Jeanjen16@gahw.com

2. Name of Authorized Agent (if any) Adnan Zabian / 013036413 Canada Inc.
Address A9-80 Eastern Ave. Brampton, Ontario o/a ACAD Modular Engineer

Postal Code L6W-1X9 Tel: 647-248-9117 e-mail: adnan@acamodular.com

Note: Please specify to whom all communications should be sent: Owner [] Agent [X]

3. Nature and extent of relief from the Zoning By-law applied for:
the side yard set back for the carport is slightly less than the required, also the front yard set back from the middle of fairview ave. is less than the 19m (62') that is required.

4. Reason why the proposed use cannot comply with the provisions of the Zoning By-law:
are listed above and as shown on attached drawings.

5. Location of Land:

Concession No. Lot(s) 138 Registered Plan No. 270 Lot(s)

Reference Plan No. 3421040520213 Part(s)

Geographic/Former Township St. Thomas

Name of Street Fairview Ave. Street No. 90

6. Dimensions of land affected:

Frontage 24.994 M Depth 37.198 M

Area 929.73 SQ.M. Width of Street _____

7. Access to the subject land is by:

- a Regional Road
- a Municipal road that is maintained all year
- a Municipal road that is maintained seasonally
- a private road

8. Particulars of all buildings and structures on or proposed for the subject land (Specify ground floor area, gross floor area, number of storeys, width, length, height). Please specify use of existing structures.

Existing:

Detached House = 176 SQ.M lot Coverage

USE Single Family Residential

Proposed:

Detached House and Car Port = 202/75 SQ.M

9. Location of all buildings and structures on or proposed for the subject land (Specify distance from side, rear and front lot lines). Please specify use of proposed structure.

Existing:

Refer to Attached Survey

Proposed:

Refer to Attached Survey

USE

10. Date of acquisition of subject land: 04.19.2021

11. Date of construction of all buildings and structures on subject land: _____

Car Port = 09.30.2021

12. Existing uses of the subject land:

Single family Residential

13. Existing uses of abutting lands:

North: Residential East: Fairview Ave.
 South: Residential West: (Fairview Ave.) Residential

14. Length of time the existing uses of the subject land have continued:

15. Services available (check appropriate space or spaces):

Water:

Municipally owned and operated piped water system Other (Specify) _____

Sewage Disposal:

Municipally owned and operated sanitary sewer system Other (Specify) _____

Storm Drainage

Storm sewers Other (Specify) _____

16. Present Official Plan designation of the subject land:

Part A.

17. Present Zoning of the subject land:

Part 9 Residential

18. Has the owner previously applied for relief (minor variance) under Section 45 of the Act in respect of the subject property?

yes no

If the answer is yes, describe briefly (and if known, quote Application #)

19. Is the subject property the subject of a current application for a consent under Section 53 or a plan of subdivision under Section 51 of the Planning Act, 1990?

yes no If so, state Application # and status _____

APPLICANT DECLARATION

By making this application, permission is hereby granted to any Municipal staff members and Municipal Planning Consultant to enter upon the premises described in this application at a reasonable time for the purpose of inspecting the property in relation to the proposed application and for distributing information concerning the same. This information is being collected pursuant to the Planning Act, Municipal Act, and Freedom of Information Act. The information contained herein will be distributed to bodies and agencies prescribed by legislation and regulation and also to interested parties.

If this application is signed by an agent or solicitor on behalf of an applicant, the owner's written authorization must accompany the application (**Appendix A**). If the applicant is a corporation acting without an agent or solicitor, the application must be signed by an officer of the corporation and the corporation's seal (if any) must be affixed.

MUNICIPAL FREEDOM OF INFORMATION AND PROTECTION OF PRIVACY ACT

Application information is collected under the authority of the Planning Act, R.S.O. 1990, c.P.13. In accordance with that Act, it is the policy of the City of St. Thomas to provide public access to all Planning Act applications and supporting documentation submitted to the City.

I, Jean T. Celocio, the Owner or Authorized Agent, hereby agree and acknowledge
(Print name of Owner or Authorized Agent)
that the information contained in this application and any documentation, including reports, studies and drawings, provided in support of the application, by myself, my agents, consultants and solicitors, constitutes public information and will become part of the public record. As such, and in accordance with the provisions of the *Municipal Freedom of Information and Protection of Privacy Act*, R.S.O. 1990, c.M. 56, I hereby consent to the City of St. Thomas making this application and its supporting documentation available to the general public, including copying and disclosing the application and its supporting documentation to any third party upon their request.

Collection of Personal Information:

Personal information on this form is collected under the authority of Section 41 of the *Planning Act*, R.S.O. 1990 and Sections 8 (1) and 10 of the *Municipal Act*, 2001, as amended, and will be used to contact the owner, applicant and/or agent regarding the Committee of Adjustment Application. Questions about this collection should be directed to the City Clerk, 545 Talbot Street, St. Thomas, Ontario, N5P 2T9 (519) 631-1680.

AFFIDAVIT OR SWORN DECLARATION

I, Jean T. Celocio of St. Thomas in the province of ONT.,
name of applicant City

make oath and say (or solemnly declare) that the information required under Schedule 1 of Ontario Regulation 545/06 and provided by the applicant in this application is accurate, and that the information contained in the documents that accompany this application is accurate.

Sworn (or declared) before me at the _____ on this _____ day of _____, 20____.
City Day Month Year

Jean T. Celocio
Signature of Owner or Authorized Agent

03. 01. 2022
Date

Crystal Marie Penney
Signature of Commissioner of Oaths, etc.

03. 01. 2022
Date

APPENDIX A – AUTHORIZATION OF OWNER

If the applicant is not the owner of the subject lands, please complete the owner authorization concerning personal information as set out below.

I, Jean T. Celacia, am the owner of the subject lands, and I authorize Adnan Zabian, to act on our behalf as the agent for the submissions required for all matters relating to the subject lands, and to provide any of my personal information that will be included in this application or collected during the planning process.

03.01.2022
Date


Signature of Owner

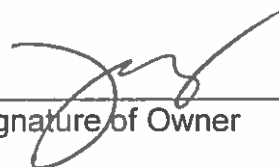
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In addition to the application fees listed in this application package, please note that where the City requires assistance from its solicitors or other technical or professional consultants in the processing of this application, the applicant shall be responsible for reimbursing all fees incurred by the City.

***Please note, Appendix B must be completed by the owner, not the authorized agent.**

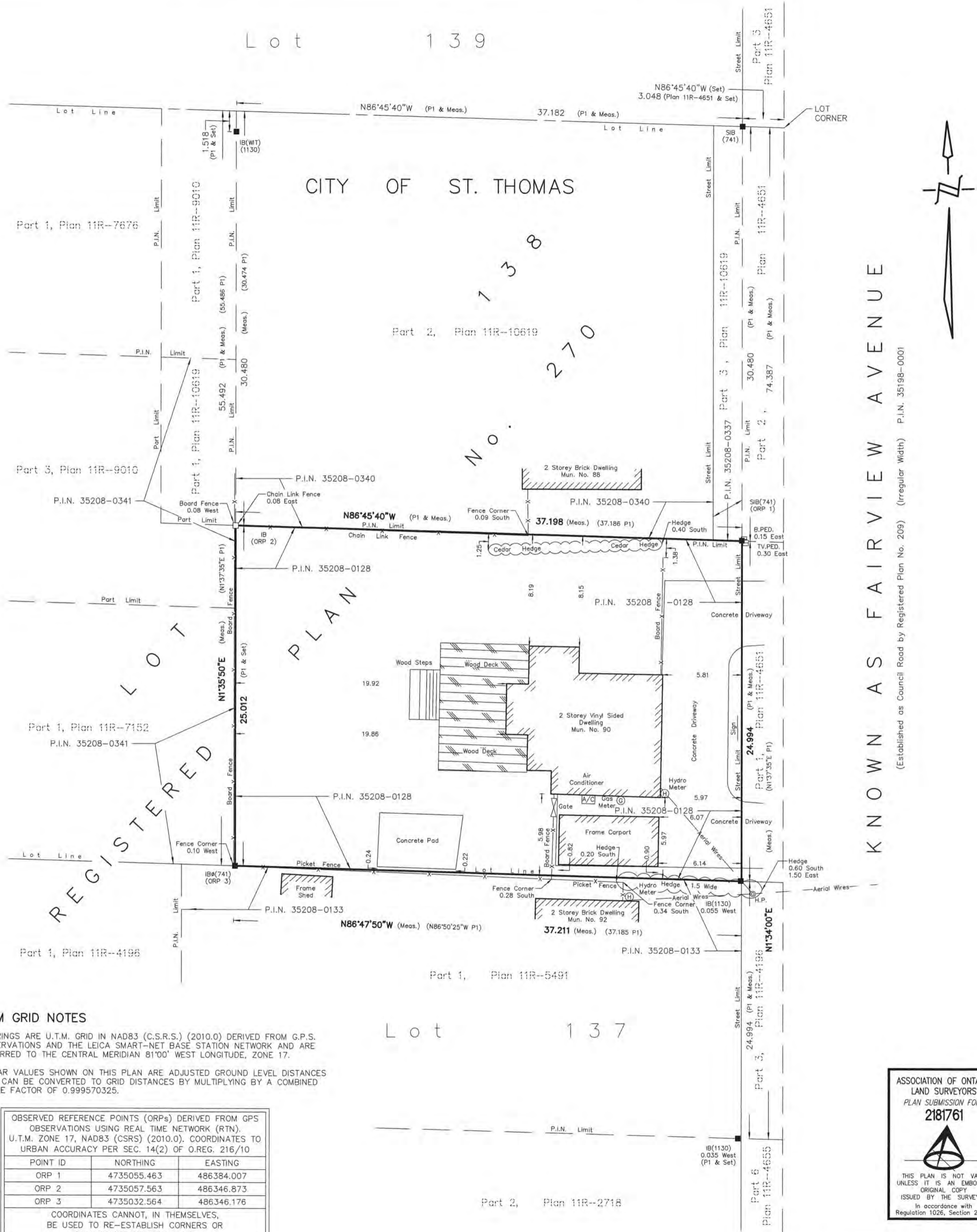
I, Jean T. Celacia, am the owner of the subject lands, and I understand that further fees may be incurred by the City throughout the planning process and that I am responsible for reimbursing all fees.

03.01.2022
Date


Signature of Owner

NOTES:

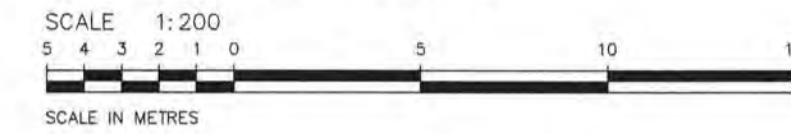
1. Each copy of this application must be accompanied by a Sketch. The Sketch need not necessarily be to scale, but dimensions must be accurate, and showing the following:
 - (a) The boundaries and dimensions of the subject land;
 - (b) The location, size and type of all existing and proposed buildings and structures on the subject land, indicating the distance of the buildings or structures from the front yard lot line, rear yard lot line and the side yard lot lines;
 - (c) The approximate location of all natural and artificial features on the subject land and on land that is adjacent to the subject land that, in the opinion of the applicant, may affect the application. Examples include buildings, driveways, swimming pools, roads, railways, drainage ditches, wells, septic tank and tile bed, and trees;
 - (d) The current uses on land that is adjacent to the subject land;
 - (e) The location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public traveled road, a private road or a right-of-way;
 - (f) If access to the subject land is by water only, the location of the parking and docking facilities to be used;
 - (g) The location and nature of any restrictive covenant or easement affecting the subject land;
2. The Committee of Adjustment may require that a preliminary drawing be prepared, signed and dated by an Ontario Land Surveyor.
3. If this application is signed by an agent or solicitor on behalf of an applicant, the owner's written authorization must accompany the application. If the applicant is a corporation acting without agent or solicitor, the application must be signed by an officer of the corporation and the corporation's seal (if any) must be affixed.



SURVEYOR'S REAL PROPERTY REPORT

PART A

PLAN OF SURVEY
OF PART OF
LOT 138, REGISTERED PLAN No. 270
IN THE
CITY OF ST. THOMAS
COUNTY OF ELGIN



2021
ARCHIBALD, GRAY & McKAY LTD.
ONTARIO LAND SURVEYORS

NOTES AND LEGEND

- DENOTES SURVEY MONUMENT FOUND
- ⊕ DENOTES SURVEY MONUMENT SET
- SIB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- IB# DENOTES ROUND IRON BAR
- WT DENOTES WITNESS
- 741 DENOTES DONALD IRA HOUGHTON, O.L.S.
- 1130 DENOTES JOHN GLEN RUPERT, O.L.S.
- P1 DENOTES PLAN 11R-10619

PART B SURVEY REPORT

DESCRIPTION:

PART OF LOT 138, REGISTERED PLAN No. 270
IN THE CITY OF ST. THOMAS, COUNTY OF ELGIN

BOUNDARIES:

THE PARCEL BOUNDARIES ARE SHOWN IN SOLID HEAVY OUTLINE.

DIMENSIONS:

THE ACTUAL PARCEL DIMENSIONS ARE SHOWN IN BOLD TYPE AROUND THE PERIMETER OF THE PROPERTY.

MONUMENTATION:

THERE IS A STEEL SURVEY MONUMENT SET IN THE GROUND AND MARKED BY A RED AND WHITE WOODEN MARKER (IF POSSIBLE) AT EACH CORNER OF THE PARCEL WITH THE EXCEPTION OF THE SOUTHEAST CORNER OF THE PARCEL WHERE AN IRON BAR IS LOCATED 0.055 WEST OF THE PARCEL CORNER.

FENCING AND OCCUPATION:

- 1) NOTE THE LOCATION OF THE CHAIN LINK FENCE, CEDAR HEDGE, B.PED. AND TV.PED. ALONG THE NORTHERLY LIMIT OF THE PARCEL.
- 2) NOTE THE LOCATION OF THE HEDGE, PICKET FENCE, FRAME CARPORT AND CONCRETE PAD ALONG THE SOUTHERLY LIMIT OF THE PARCEL.
- 3) NOTE THE LOCATION OF THE BOARD FENCE ALONG THE WESTERLY LIMIT OF THE PARCEL.
- 4) DISTANCES FROM THE PROPERTY BOUNDARIES TO THE FEATURES NOTED ABOVE ARE SHOWN ON THE FACE OF THE PLAN.

REGISTERED EASEMENTS AND/OR RIGHTS OF WAY:

N/A

NOTES:

THE DISTANCES SHOWN TO THE BUILDINGS ARE ACTUAL GROUND MEASURED DISTANCES TAKEN TO THE CORNERS OF THE BUILDINGS ARE MEASURED PERPENDICULAR TO THE PROPERTY LINES. THE PLAN DOES NOT CERTIFY THAT THESE DISTANCES ARE IN ACCORDANCE WITH THE ZONING BY LAWS.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT :

- 1) THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- 2) THE SURVEY WAS COMPLETED ON THE 16th DAY OF NOVEMBER, 2021.

DECEMBER 2/2021
DATE

Robert Wood
ROBERT WOOD
ONTARIO LAND SURVEYOR

© COPYRIGHT



UTM GRID NOTES

BEARINGS ARE U.T.M. GRID IN NAD83 (C.S.R.S.) (2010.0) DERIVED FROM G.P.S. OBSERVATIONS AND THE LEICA SMART-NET BASE STATION NETWORK AND ARE REFERRED TO THE CENTRAL MERIDIAN 81°00' WEST LONGITUDE, ZONE 17.

LINEAR VALUES SHOWN ON THIS PLAN ARE ADJUSTED GROUND LEVEL DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY A COMBINED SCALE FACTOR OF 0.999570325.

OBSERVED REFERENCE POINTS (ORPs) DERIVED FROM GPS OBSERVATIONS USING REAL TIME NETWORK (RTN). U.T.M. ZONE 17, NAD83 (CSRS) (2010.0). COORDINATES TO URBAN ACCURACY PER SEC. 14(2) OF O.R.G. 216/10		
POINT ID	NORTHING	EASTING
ORP 1	4735055.463	486384.007
ORP 2	4735057.563	486346.873
ORP 3	4735032.564	486346.176

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES ON THIS PLAN.

METRIC: DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

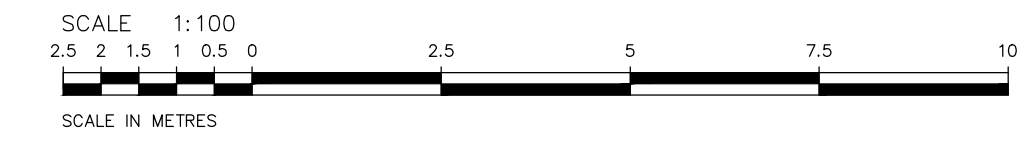
THIS PLAN WAS PREPARED FOR
FARMOR HOLDINGS INC.

AGM ARCHIBALD, GRAY & McKAY LTD.
3514 WHITE OAK ROAD, LONDON, ON, N6E 2Z9
PHONE 519-685-5300 FAX 519-685-5303
EMAIL info@agm.on.ca WEB www.agm.on.ca

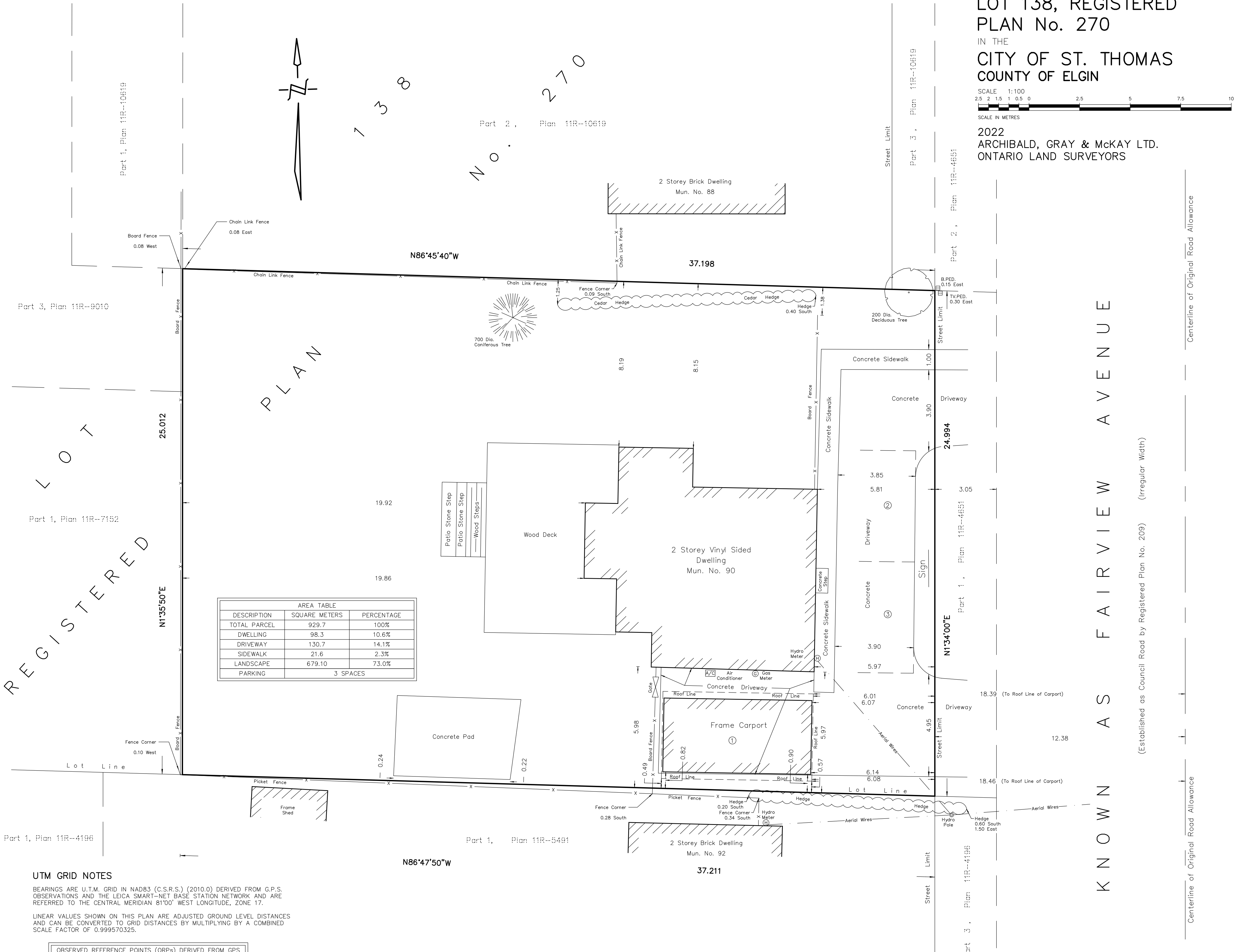
DRAWN BY: NORTON	DIGITAL FILE: ST2114 SR1 EC.dwg	PLAN No:
CHECKED BY: D.D.C.	COGO FILE: ST2114 SR1 EC.dwg	4-A-5277
PLOT DATE: DEC 2 2021	FILE No: ST-0270-0-3	

CITY OF ST. THOMAS

SKETCH
OF PART OF
LOT 138, REGISTERED
PLAN No. 270
IN THE
CITY OF ST. THOMAS
COUNTY OF ELGIN



2022
ARCHIBALD, GRAY & McKAY LTD.
ONTARIO LAND SURVEYORS



DESCRIPTION	SQUARE METERS	PERCENTAGE
TOTAL PARCEL	929.7	100%
DWELLING	98.3	10.6%
DRIVEWAY	130.7	14.1%
SIDEWALK	21.6	2.3%
LANDSCAPE	679.10	73.0%
PARKING	3 SPACES	

UTM GRID NOTES
BEARINGS ARE U.T.M. GRID IN NAD83 (C.S.R.S.) (2010.0) DERIVED FROM G.P.S. OBSERVATIONS AND THE LEICA SMART-NET BASE STATION NETWORK AND ARE REFERRED TO THE CENTRAL MERIDIAN 81°00' WEST LONGITUDE, ZONE 17.
LINEAR VALUES SHOWN ON THIS PLAN ARE ADJUSTED GROUND LEVEL DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY A COMBINED SCALE FACTOR OF 0.999570325.

POINT ID	NORTHING	EASTING
ORP 1	4735055.463	486384.007
ORP 2	4735057.563	486346.873
ORP 3	4735032.564	486346.176

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES ON THIS PLAN.

KNOWN AS FAIRVIEW AVENUE

(Established as Council Road by Registered Plan No. 209) (Regular Width)

Centerline of Original Road Allowance

AGM ARCHIBALD, GRAY & McKAY LTD.
3514 WHITE OAK ROAD, LONDON, ON, N6E 2Z9
PHONE 519-685-5300 FAX 519-685-5303
EMAIL info@agm.on.ca WEB www.agm.on.ca

PLAN • SURVEY • ENGINEER

DRAWN BY: NORTON	DIGITAL FILE: ST2114 SK1 EC.dwg	PLAN No:
CHECKED BY: D.D.C.	COGO FILE: ST2114 SK1 EC.dwg	4-A-5277-2
PLOT DATE: JAN 24 2022	FILE No: ST-0270-0-3	

METRIC: DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BUILDING CODE DATA MATRIX PART 9

SCOPE OF WORK:		O.B.C REFERENCE
PROJECT ADDRESS: 90 FAIRVIEW AVE. ST. THOMAS, ONT.		
THE FOLLOWING DRAWING PACKAGE IS INTENDED TO OBTAIN A BUILDING PERMIT AND CONSTRUCTION OF A DETACHED CAR PORT		
ALTERATION TO EXISTING:		
CONVERTING THE EXISTING BASEMENT INTO A SEPARATE LIVING UNIT		
PERFORMANCE LEVEL REDUCTION:		
STRUCTURAL	YES	-
INCREASED OCCUPANT LOAD	NO	-
BY CHANGE IN MAJOR OCCUPANCY:	NO	-
PLUMBING	NO	-
SEWAGE SYSTEM	NO	-
COMPENSATION CONSTRUCTION:		
STRUCTURAL	YES	-
INCREASED OCCUPANT LOAD	NO	-
BY CHANGE IN OCCUPANCY:	NO	-
PLUMBING	NO	-
SEWAGE SYSTEM	NO	-
PROPOSED ALTERNATIVES:		
COMPLIANCE ALTERNATIVES	NO	-
ALTERNATIVE MEASURES:		
PROPOSED ALTERNATIVE MEASURES	NO	-
EXISTING LOT INFORMATION:		
LOT AREA	956 SQ. METERS	
EXISTING HOME LOT COVERAGE	176 SQ. M	
PROPOSED HOME LOT COVERAGE	202.75 SQ. M	

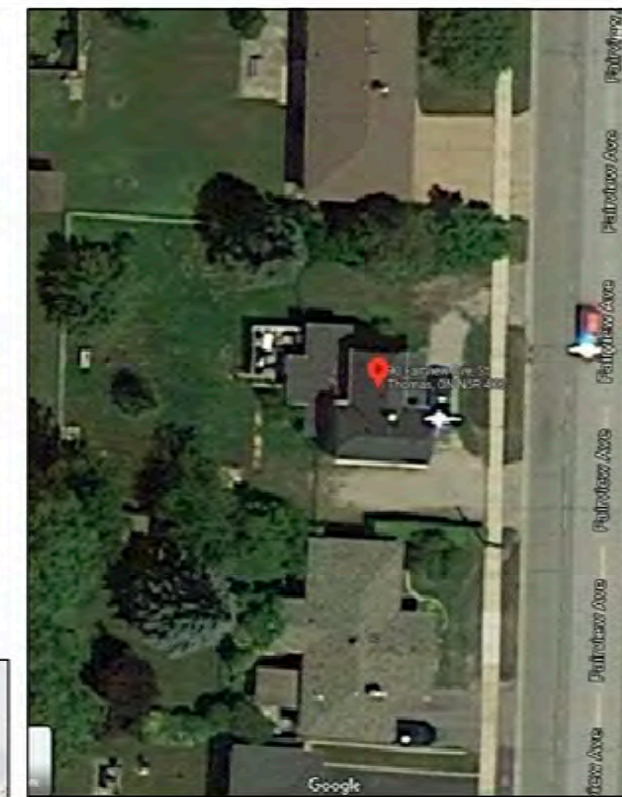
BUILDING CODE MATRIX
A-0 N.T.S.



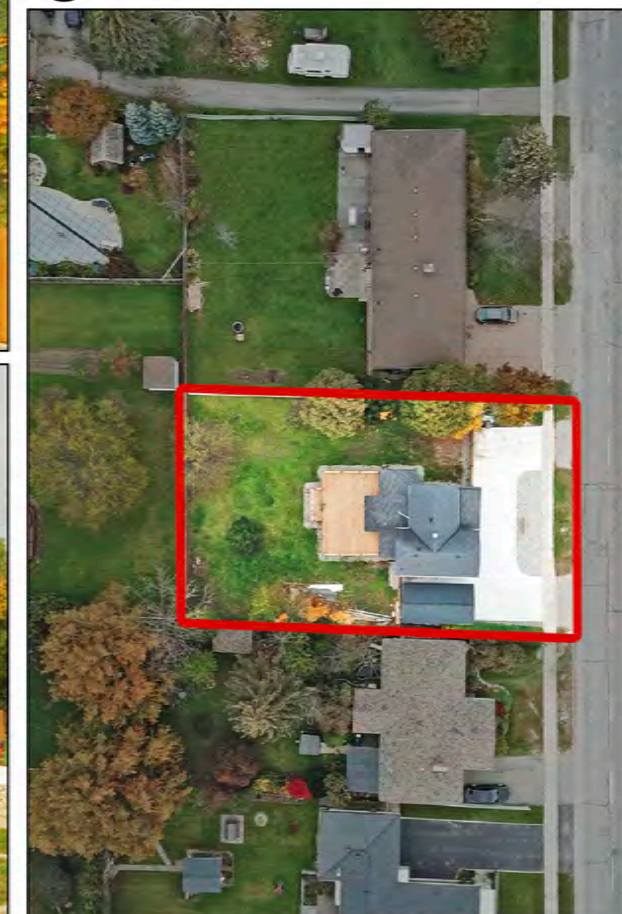
EXISTING HOUSE FRONT
A-0 N.T.S.



PROPOSED HOUSE FRONT
A-0 N.T.S.



KEY PLAN-EXISTING
A-0 N.T.S.



KEY PLAN-PROPOSED
A-0 N.T.S.

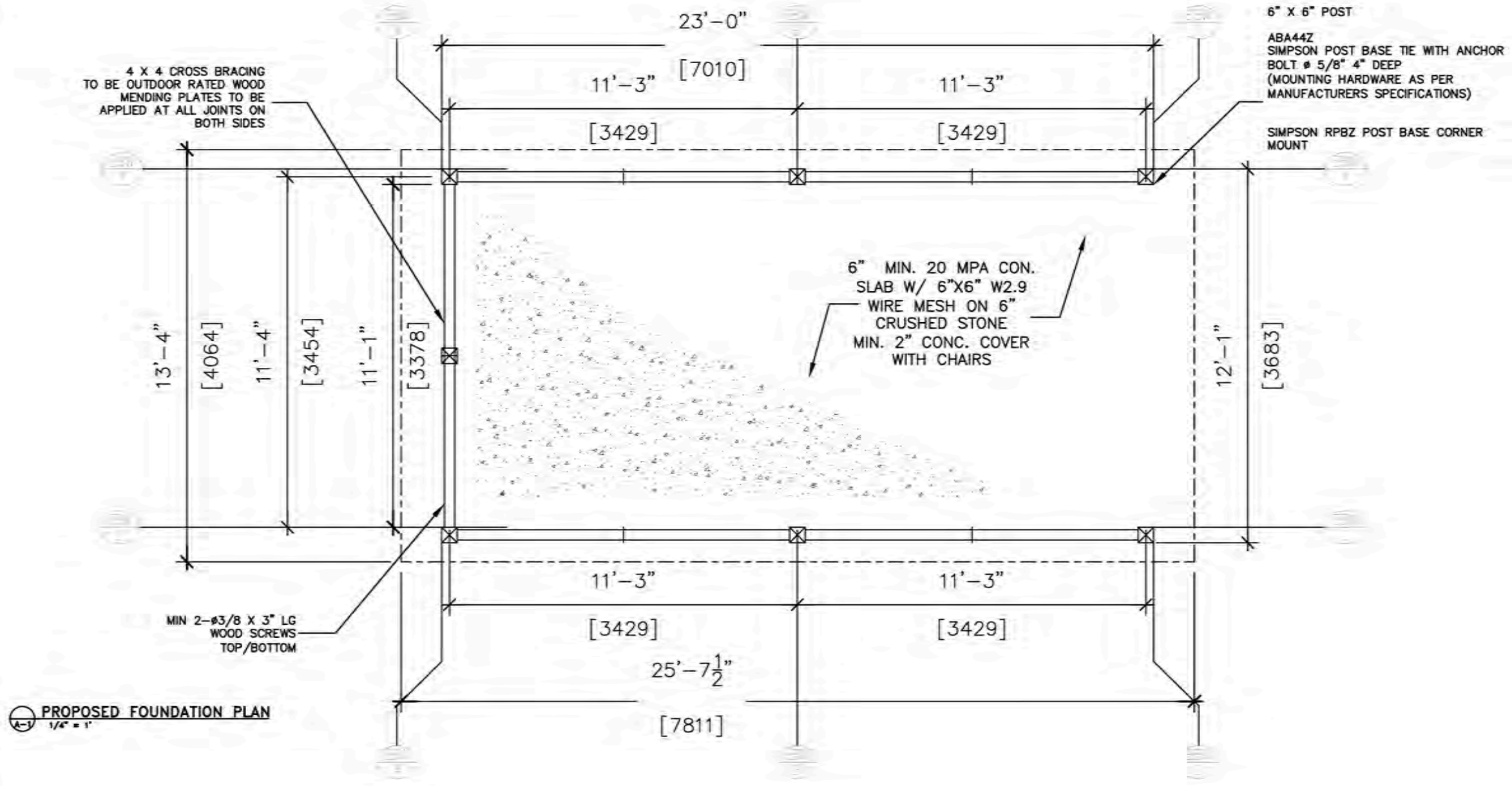
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Date: 09.30.2021
Dwg. no. A.0
REV. NO: 4
DATE: 12.11.2021



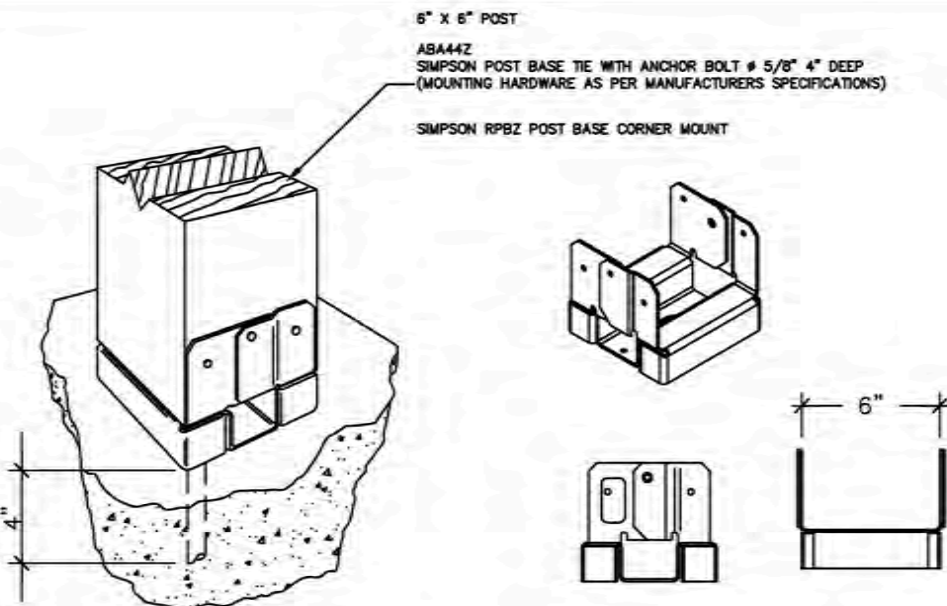
The ELITE ENGINEERING GROUP Inc.
Thinking Outside the Box!
PROJECT: DETACHED CAR PORT
90 FAIRVIEW AVE., ST. THOMAS, ONTARIO
SHEET TITLE: TITLE PAGE - OBC MATRIX

DESIGN BY: ADNAN ZABIAN C.TECH,TPRP
ACAD Moduul
80 Eastern ave. (Unit A9) Broompton, ON
Tel: 647-246-9117 Fax: 905-796-2965
www.acadmoduul.com
e-mail: adnan@acadmoduul.com

CONSULTING ARCHITECTS
CERTIFICATE OF PRACTICE # 906
80 Eastern Ave. Unit A9 Broompton, ON
Canada L6V 0E5
Tel: 647-246-9117 Fax: 905-796-2965
www.theelitegroup.com
e-mail: arch@theelitegroup.com



PROPOSED FOUNDATION PLAN
1/4" = 1'



Simpson Strong-Tie
ABA44

6" X 6" POST
ABA44Z
SIMPSON POST BASE TIE WITH ANCHOR
BOLT # 5/8" 4" DEEP
(MOUNTING HARDWARE AS PER
MANUFACTURERS SPECIFICATIONS)
SIMPSON RPBZ POST BASE CORNER
MOUNT

6" MIN. 20 MPA CON.
SLAB W/ 6"X6" W2.9
WIRE MESH ON 6"
CRUSHED STONE
MIN. 2" CONC. COVER
WITH CHAIRS

Scale:	AS NOTED
Date:	09.30.2021
Dwg. no.	A2.0
REV. NO:	4
DATE:	12.11.2021



The ELITE ENGINEERING GROUP Inc.
Thinking Outside the Box!

PROJECT:
DETACHED CAR PORT
90 FAIRVIEW AVE., ST. THOMAS, ONTARIO

SHEET TITLE:
PROPOSED FOUNDATION PLAN

DESIGN BY:
ADNAN ZABIAN C. TECH., PRPP

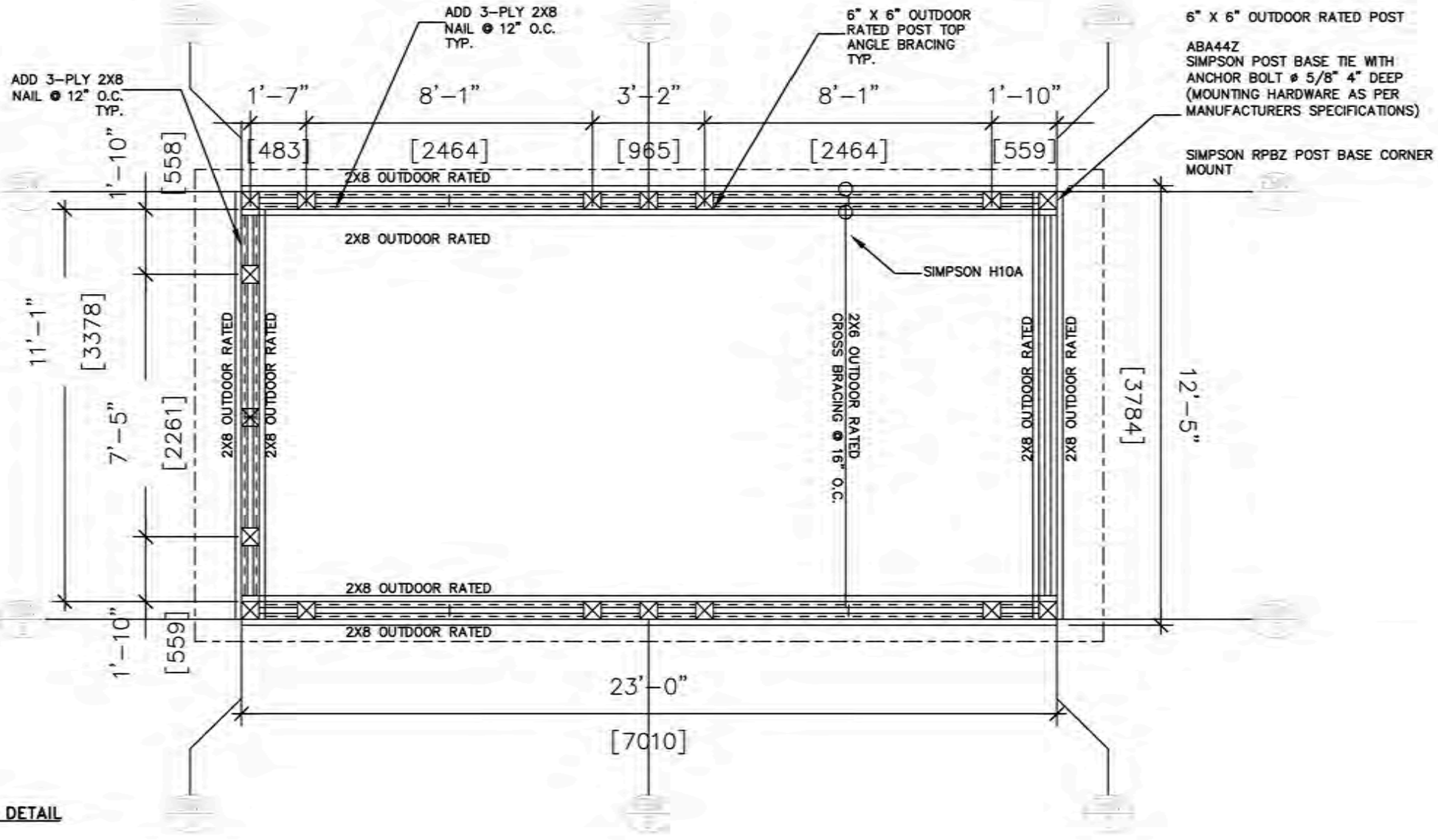
ACAD Moduli

80 Eastern Ave. (Unit A9) Brampton, ON
Tel: 647-246-9117 Fax: 905-796-2965
www.acadmoduli.com
e-mail: adnan@acadmoduli.com

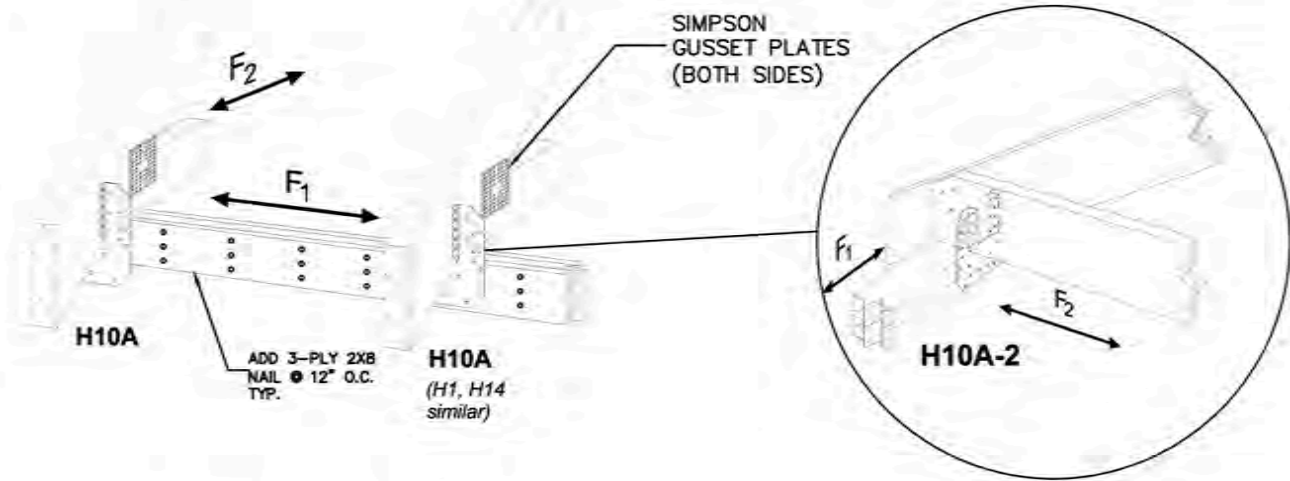
ARCHITECTURE

CONSULTING ARCHITECTS
CERTIFICATE OF PRACTICE # 5166

80 Eastern Ave. (Unit A9) Brampton, ON
Canada L6Y 4R5
Tel: (519) 796-2965 (C) 1997-2021
www.architecturalmoduli.com
e-mail: adnan@acadmoduli.com



PROPOSED BASE FRAME DETAIL
1/4" = 1'



POST TOP BASE FRAME DETAIL
N.T.S.

Scale: AS NOTED
Date: 09.30.2021
Dwg. no. A2.1
REV. NO: 4
DATE: 12.11.2021



The ELITE ENGINEERING GROUP Inc.
Thinking Outside the Box!

PROJECT:
DETACHED CAR PORT
90 FAIRVIEW AVE., ST. THOMAS, ONTARIO

SHEET TITLE:
PROPOSED BASE FRAME DETAIL

DESIGN BY:
ADAM ZABIAN C.TECH., T.P.R.P.

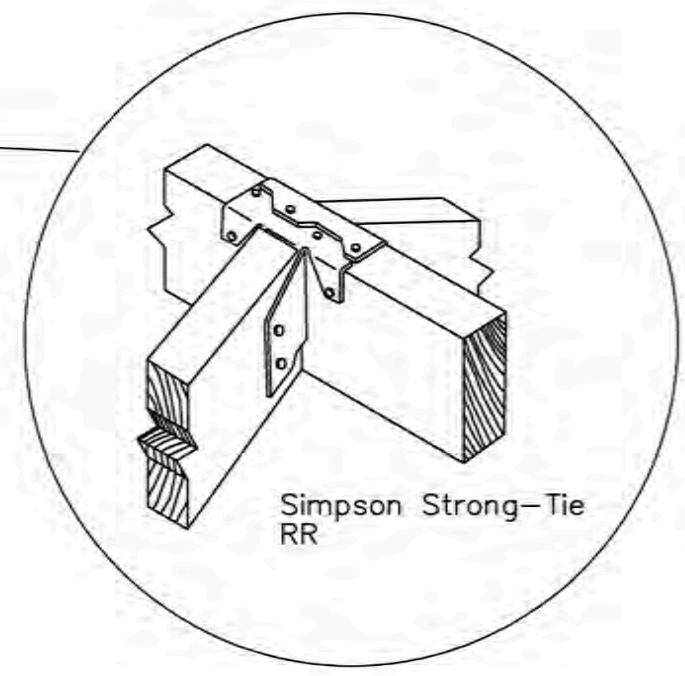
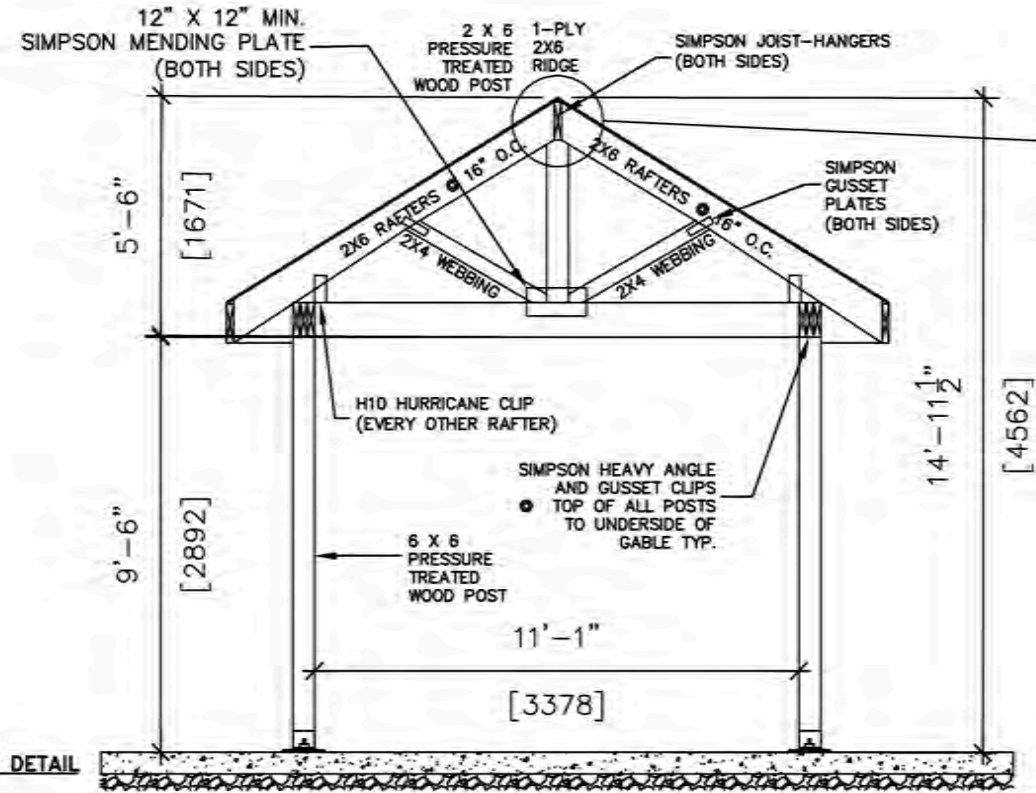
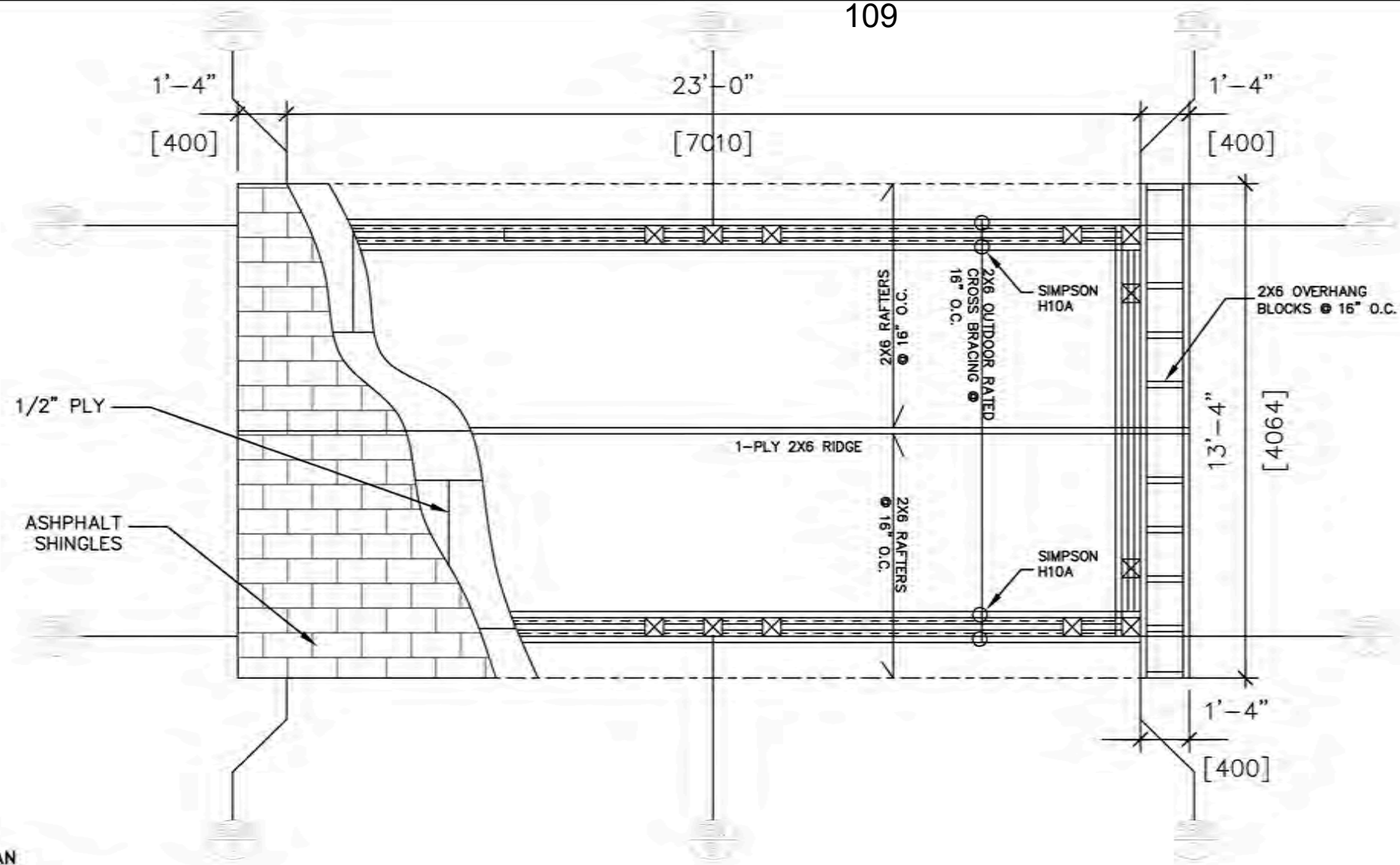
ACAD Moduli

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Tel: 647-246-9117 Fax: 905-796-2965
www.acadmoduli.com
e-mail: adam@acadmoduli.com

ARCHITECTS

CONSULTING ARCHITECTS
CERTIFICATE OF PRACTICE # 5166

80 Eastern Ave., Unit A9, Brampton, ON
Canada L6Y 4R5
Tel: (519) 853-8188 Fax: (519) 857-1911
www.architects.com



Scale: AS NOTED
 Date: 09.30.2021
 Dwg. no. A3.0
 REV. NO: 4
 DATE: 12.11.2021



The ELITE ENGINEERING GROUP Inc.
 Thinking Outside the Box!

PROJECT: DETACHED GAR PORT
 90 FAIRVIEW AVE., ST. THOMAS, ONTARIO

SHEET TITLE: ROOF PLAN

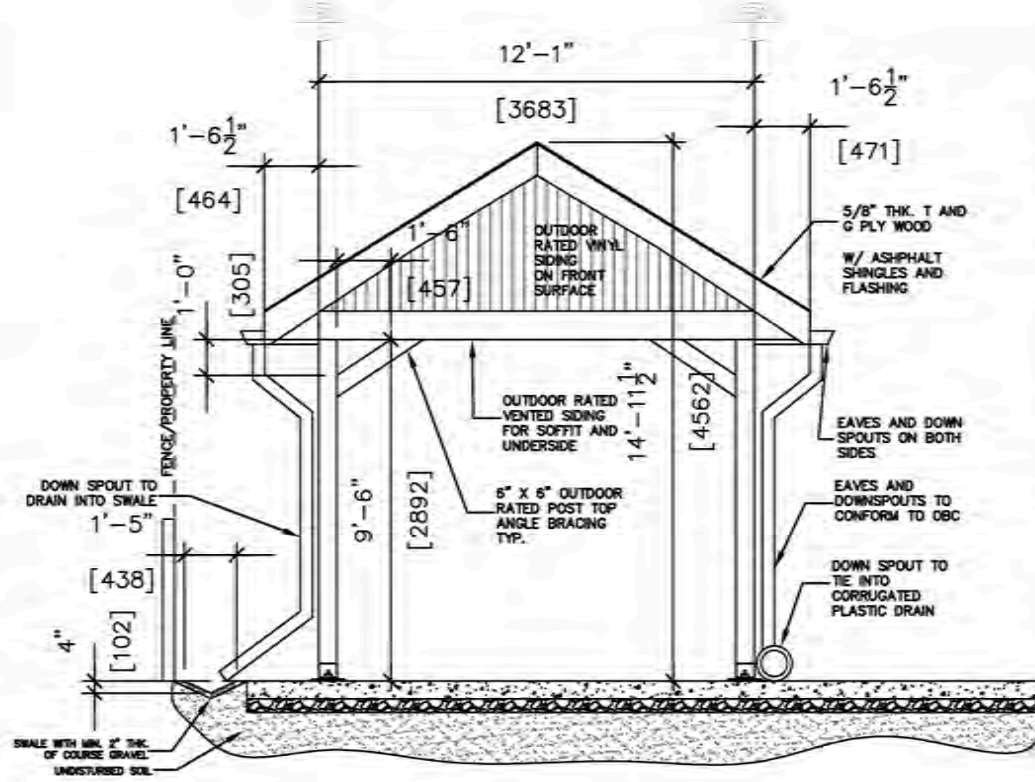
DESIGN BY: ADNAN ZABIAN C.TECH., TPRP
 ACAD Moduli

80 Eastern Ave., (Unit A9) Brampton, ON
 Tel: 647-246-9117 Fax: 905-796-2565
 www.acadmoduli.com
 e-mail: admn@acadmoduli.com

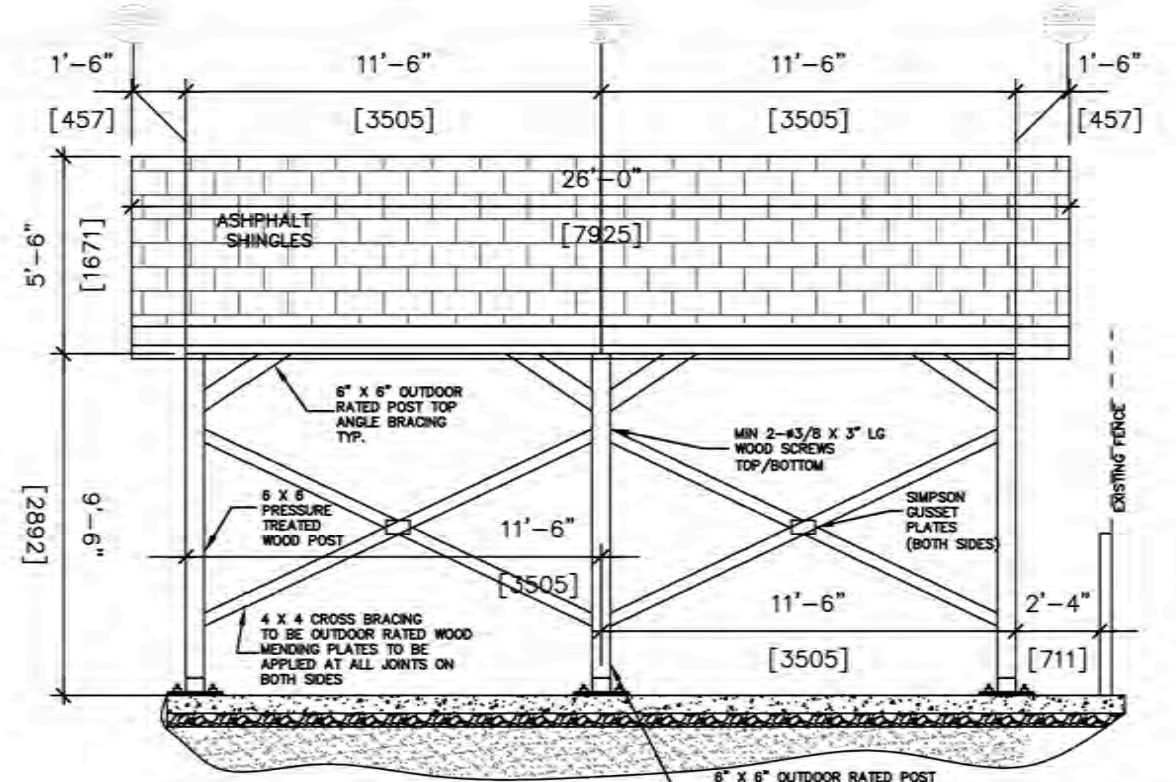
ARCHITECTURE

CONSULTING ARCHITECTS
 CERTIFICATE OF PRACTICE # 5166

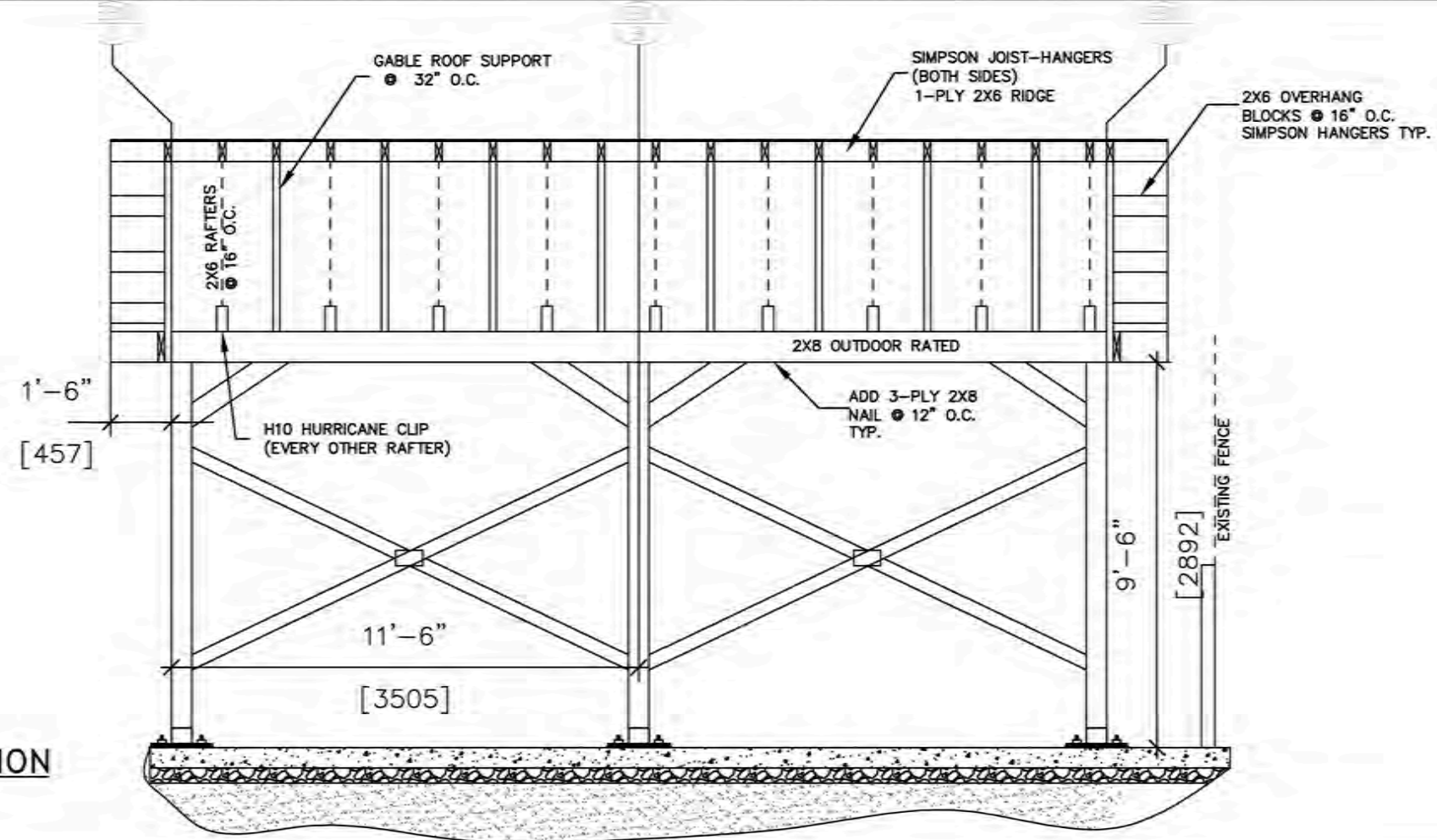
80 Eastern Ave., Unit A9, Brampton, ON
 Canada, L6Y 4R5
 Tel: (905) 796-2565
 Fax: (905) 796-2566
 www.acadmoduli.com
 e-mail: admn@acadmoduli.com



PROPOSED FRONT ELEVATION
 A-4 3/16" = 1'



PROPOSED SIDE ELEVATION
 A-4 3/16" = 1'
 6" X 6" OUTDOOR RATED POST ABA44Z
 SIMPSON POST BASE TIE WITH ANCHOR BOLT # 5/8" 4" DEEP (MOUNTING HARDWARE AS PER MANUFACTURERS SPECIFICATIONS)
 SIMPSON RP8Z POST BASE CORNER MOUNT



PROPOSED SECTION ELEVATION
 A-4 1/4" = 1'

Scale:	AS NOTED
Date:	09.30.2021
Dwg. no.	A4.0
REV. NO.:	4
DATE:	12.11.2021



The ELITE
 ENGINEERING CONSULTING

Thinking Outside the Box!

PROJECT:
 DETACHED CAR PORT
 90 FAIRVIEW AVE., ST. THOMAS, ONTARIO

SHEET TITLE:
 ELEVATIONS

DESIGN BY:
 ADAM ZABIAN C.TECH., TPRP


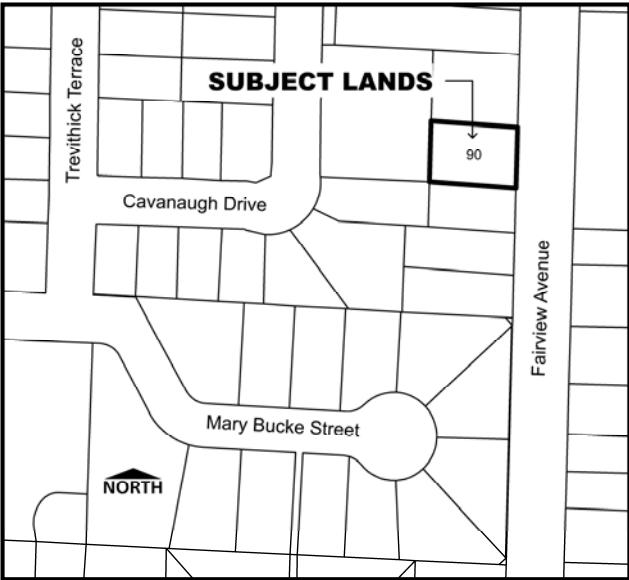
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 Tel: 647-246-9117 Fax: 905-796-2565
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 e-mail: adam@acadmoduli.com

ARCHITECTURE

CONSULTING ARCHITECTS
 CERTIFICATE OF PRACTICE # 5166

80 Eastern Ave., Unit A9 Brampton, ON
 Canada L6Y 4R8
 Tel: 647-246-9117 Fax: 905-796-2565
 www.architecturalmoduli.com

 <p>The Corporation of the City of St. Thomas</p>	<p>Report No.: COA05-2022</p>
<p>Members of the Committee of Adjustment</p>	<p>Applicant: Jean Celocia & Victoriano Celocia Jr.</p>
<p>Location: 90 Fairview Avenue, Plan 270, Part Lot 138</p>	
<p>Subject: Request for a minor variance pursuant to 45(1) of the Planning Act, R.S.O, as amended</p>	
<p>Department: Planning and Building Services Department Prepared by: Steve Craig, Senior Planning Technician</p>	<p>Attachments: Location Plan</p>
<p>Recommendation: That: Report COA05-2022 be received.</p>	
<p>BACKGROUND: The applicants are requesting the Committee of Adjustment recognize the location of an existing non-conforming carport that was recently constructed on the subject lands, as shown on the plans accompanying the subject application.</p> <p>REQUESTED VARIANCE(s):</p> <ol style="list-style-type: none"> 1) To permit a carport in the interior side yard 0.82m from the southerly side lot line, whereas a minimum interior side yard depth of 1m is required (Table 1 to Subsection 7.4, Column Number 2, Item Number 11a). 2) To permit a carport 18.39m from the centre line of Fairview Avenue, whereas a minimum setback of 19m is required (Section 4.1.4.2). <p>OFFICIAL PLAN:</p> <ul style="list-style-type: none"> • The subject lands are within the Residential designation as shown on Schedule A (Land Use Plan) to the Official Plan for the City of St. Thomas. • The "Residential" designation means the predominant use of land shall be for low, medium, and high-density residential use (5.1.3.1). • Wherever a use is permitted in a land use classification, it is intended that uses, buildings or structures normally incidental, accessory, and essential to that use are also permitted (11.2.1). 	<p>Location Plan</p> 

ZONING BY-LAW:

- The subject lands are within the Third Residential Zone (R3) pursuant to the City of St. Thomas Zoning By-Law No. 50-88, as shown on Zoning Map 22.
- Permitted uses of the R3-42 zone include a single detached dwelling and uses accessory to the foregoing (7.1(a)(q)).
- The requirements and setbacks for a single detached dwelling include (Table 1, Subsection 7.4, Column 2):
 - minimum lot area - 371.5m²;
 - minimum lot frontage - 12m;
 - maximum main building height - 11m;
 - maximum accessory building height - 4m;
 - maximum lot coverage - 35%;
 - maximum floor area of an enclosed accessory building - the lesser of 15% of the lot area or 67m²;
 - maximum number of dwelling units - 1 per lot;
 - maximum roof area - 50%;
 - minimum front yard depth - 6m;
 - minimum rear yard depth - 9m;
 - minimum interior side yard depth - 1m;
 - minimum exterior side yard depth - 4m;
 - minimum ground floor area - 1 storey dwelling 74m²; and
 - minimum number of parking spaces - 1 parking space per dwelling unit.
- The setback for any building or structure erected on Fairview Avenue, from Wellington Street to the southerly limit of the City of St. Thomas shall be the sum of 13m and the required front yard depth (6m) for the lot on which the building or structure is erected (4.1.4.2).
- Setback is defined as the distance between the centre line of a street and the main building wall that is closest to the street (1.110).
- In any residential zone eaves and eavestroughs forming part of the main building or part of an accessory building may project or extend a maximum of 0.75m into any required yard (4.2.2).

LEGISLATIVE FRAMEWORK FOR A MINOR VARIANCE:

In considering this application, the Committee must have regard to the following criteria and determine whether:

- The general intent and purpose of the Official Plan will be maintained;
- The general intent and purpose of the Zoning By-Law will be maintained;
- The variance is desirable for the appropriate development or use of the land, building or structure; and
- The variance is minor in nature.

COMMENTS:

- The previous owner of the property constructed the detached carport without the benefit of a building permit, to obtain a permit for the work that was completed a site plan was submitted that identified the carport did not conform with the Zoning By-law.
- The first variance is required to permit a carport located in an interior side yard a minimum of 0.82m (2.69ft) from the southerly side lot line, whereas 1m (3.28ft) is required. Providing the carport remains unenclosed a reduction of 0.18m (7.08 inches) will not result in any adverse impacts to the subject lands and neighbouring property.

- The Zoning By-law permits roof eaves for a detached accessory building (carport) located within an interior side yard a minimum of 0.25m of an interior side lot line. According to the sketch prepared by AGM, dated January 24, 2022 the carport eaves are setback a minimum of 0.49m and conform with the Zoning By-law.
- The second variance is required to permit a carport 18.39m (60.33ft) from the centre line of Fairview Avenue, whereas 19m (62.33ft) is required. Setbacks from certain streets are required for future road widening purposes, the existing house and neighbouring house to the south are located closer to the centre line of Fairview Avenue than the subject carport, resulting in no further adverse impacts to the future road widening of Fairview Avenue. During the consultation process no concerns were brought forward by the Manager of Development and Compliance, Environmental Services.
- The previous owner constructed a concrete driveway that exceeds 50% of the area of the front yard and does not conform with the Zoning By-law, which provides that no parking lot, parking space or residential driveway shall be located or used within a front yard if the area of all driveways, parking spaces and parking lots in such yard exceeds 50% of the area of such yard (4.2.6.3). The new owners have agreed to work with the city to reduce the area of the driveway to conform with the Zoning By-law.
- In Staff's opinion the proposed variances meet the general intent and purpose of the Official Plan, Zoning By-law, are minor in nature, and are desirable and appropriate for the use of the lands, thereby satisfying the four tests, as set out in Section 45 of the Planning Act. Therefore, planning staff recommend that minor variance application COA05-2022 be approved, subject to the following conditions:
 1. The carport shall remain unenclosed and in accordance with plans accompanying the subject application;
 2. The owner shall obtain a building permit for the carport to the satisfaction of the Building Services Department;
 3. The existing driveway in the front yard shall be brought into conformity with the City of St. Thomas Zoning By-law 50-88 and to the satisfaction of the Environmental Services Department.

Respectfully submitted,



Steve Craig

Senior Planning Technician

CONFIRMATION OF AN APPLICATION FOR MINOR VARIANCE

March 1, 2022

Secretary-Treasurer, Committee of Adjustment
Attention: Jon Hindley

Pursuant to By-Law 30-2015, there were several consultation meetings held with Planning staff and the applicant.

An application for a Minor Variance, regarding 244-248 Talbot Street, was filed on January 13, 2022 and the required fee under Section 69 of the Planning Act has been provided.

Please contact the Planning & Building Services Department if you have any questions.

Regards,



Jim McCoomb, MCIP, RPP
Manager of Planning Services





CORPORATION OF THE CITY OF ST THOMAS

Clear Form

COMMITTEE OF ADJUSTMENT

APPLICATION FOR MINOR VARIANCE OR FOR PERMISSION

(Section 45 of the Planning Act, RSO, 1990, as amended)

OFFICE USE:	Date Application Received: <u>Jan. 13/22</u>	Consultation Date: <u>Multiple</u>
	Date Application Deemed Complete: <u>March 1/22</u>	

Application #: A06/22

APPLICATION IS HEREBY MADE TO:

City of St. Thomas
 545 Talbot Street
 St. Thomas ON N5P 3V7
 Tel: (519) 631-1680 ext 4125 Fax: (519) 633-9019
 Email: jhindley@stthomas.ca

Please note that in accordance with By-Law 30-2015, consultation with the Planning and Building Services Department must take place prior to the submission of an application. After consultation, the application will be filed with the Assistant Secretary-Treasurer, together with the sketch referred to in Note 1 and \$400 made payable to the City of St. Thomas. All information and materials submitted for the application shall be made available to the public, as indicated by Section 1.0.1 of the Planning Act, R.S.O. 1990.

Personal information contained on this form is collected under the authority of the Planning Act, R.S.O. 1990, as amended, and Ontario Regulation 200/96 and will be used for the purpose of processing this application.

1. Name of Owner(s) Thomas Wong (2735125 Ontario Inc.)Address 85 Hudson Crescent, Kitchener ONPostal Code N2B 2V7 Tel: 416-806-9568 e-mail: thomaswong@rogers.com2. Name of Authorized Agent (if any) ACK Architects Studio Inc.Address 290 Glendale Ave, St CatharinesPostal Code L2T 2L3 Tel: (905)-984-5545 e-mail: mdilollo@ackarchitects.comNote: Please specify to whom all communications should be sent: Owner Agent

3. Nature and extent of relief from the Zoning By-law applied for:

4.3.6 DOWNTOWN TALBOT STREETScape (By-Law 12-2016) MAXIMUM BUILDING HEIGHT 3-STOREYSAS NOTED IN ATTACHED SKETCHES A 4-STOREY 48'-6 1/4" (14.8m) HIGH BUILDING HEIGHT.

4. Reason why the proposed use cannot comply with the provisions of the Zoning By-law:

MAXIMUM 3 STOREY BUILDING HEIGHT. 4 STOREY PROPOSED FOR MAXIMIZATION OF RESIDENTIAL USE.KEEP HEIGHT BALANCED WITH SURROUNDING BUILDINGS

5. Location of Land:

Concession No. 8 & 9 Lot(s) 12 Registered Plan No. 23 Lot(s) 12Reference Plan No. 9-L-5319-Z Part(s) 4

Geographic/Former Township YARMOUTHName of Street TALBOT STREET & QUEEN STREET

Street No. _____

6. Dimensions of land affected:

Frontage 20.28m (66'-6 7/16") Depth EAST= 40.33m (132'-3 13/16") WEST= 36.38m (119'-4 5/16")Area 791.24 S.M+/- (8516.84 S.F+/-) Width of Street TALBOT STREET= 20.117m (66'-2 3/4") QUEEN STREET= 12.073m (39'-7 5/16")

7. Access to the subject land is by:

- a Regional Road a private road
- a Municipal road that is maintained all year
- a Municipal road that is maintained seasonally

8. Particulars of all buildings and structures on or proposed for the subject land (Specify ground floor area, gross floor area, number of storeys, width, length, height). Please specify use of existing structures.

Existing:

3 STOREY BUILDING, FLOOR AREA= 345.0 S.M +/- (3,735 S.F +/-), GROSS FLOOR AREA= 981.S.M. +/- (10,560.47 S.F +/-)(LxWxH)= ((EAST= 70'-4 1/8"+/-)+(WEST= 49'-6 3/4") X 66'-5 1/8"+/- X 42'-7"+/-) ((EAST= 21.4m+/-)+(WEST= 15.1m +/-) X 20.2m+/- X 13.0m+/-)USE 1st Floor - COMMERCIAL | 2nd Floor - RESIDENTIAL | 3rd Floor- RESIDENTIAL

Proposed:

4 STORY BUILDING, FLOOR AREA= 274.06 S.M+/- (2,950 S.F +/-), GROSS FLOOR AREA= 1,182.3 S.M+/- (12,726.0 S.F+/-)(LxWxH)= ((EAST= 44'-4 5/8"+/-)+(WEST= 65'-0 5/8"+/-) X 64'-5 3/4"+/- X 48' 2 3/8"+/-) ((EAST= 13.5m+/-)+(WEST= 19.8m +/-) X 19.7m+/- X 15.0m+/-)

9. Location of all buildings and structures on or proposed for the subject land (Specify distance from side, rear and front lot lines). Please specify use of proposed structure.

Existing:

FRONT YARD= 0m +/-, REAR YARD= EAST= 24.5m+/- (80'-4 9/16" +/-)+ WEST= 21.4m (70'-2 1/2" +/-), SIDE YARDS= 0m +/-

Proposed:

FRONT YARD= 0m+/-, REAR YARD= EAST= 7.6m+/- (24'-11 3/16" +/-), WEST= 4.0m+/- (13'-1 1/2" +/-), SIDE YARDS= 0m+/-USE: 1ST FLOOR - RESIDENTIAL | 2ND FLOOR- RESIDENTIAL | 3RD Floor- RESIDENTIAL | 4TH FLOOR - RESIDENTIALUSE10. Date of acquisition of subject land: October 15, 202011. Date of construction of all buildings and structures on subject land: The original building was built in 1870. There were additions at the back built in 1903 and 1950. (detailed site history is in heritage impact report)

12. Existing uses of the subject land:

Commercial & Residential

13. Existing uses of abutting lands:

North: Commercial & Residential East: Commercial

South: Commercial & Residential West: Commercial & Residential

14. Length of time the existing uses of the subject land have continued:

The current use of the building has been in place for 10-15 years. (see heritage impact report)

15. Services available (check appropriate space or spaces):

Water:

Municipally owned and operated piped water system Other (Specify) _____

Sewage Disposal:

Municipally owned and operated sanitary sewer system Other (Specify) _____

Storm Drainage

Storm sewers Other (Specify) _____

16. Present Official Plan designation of the subject land:

HERITAGE CONSERVATION DISTRICT (HCD)

17. Present Zoning of the subject land:

DOWNTOWN TALBOT WEST COMMERCIAL (C-1)

18. Has the owner previously applied for relief (minor variance) under Section 45 of the Act in respect of the subject property?

yes no

If the answer is yes, describe briefly (and if known, quote Application #)

19. Is the subject property the subject of a current application for a consent under Section 53 or a plan of subdivision under Section 51 of the Planning Act, 1990?

yes no If so, state Application # and status _____

APPLICANT DECLARATION

By making this application, permission is hereby granted to any Municipal staff members and Municipal Planning Consultant to enter upon the premises described in this application at a reasonable time for the purpose of inspecting the property in relation to the proposed application and for distributing information concerning the same. This information is being collected pursuant to the Planning Act, Municipal Act, and Freedom of Information Act. The information contained herein will be distributed to bodies and agencies prescribed by legislation and regulation and also to interested parties.

If this application is signed by an agent or solicitor on behalf of an applicant, the owner's written authorization must accompany the application (**Appendix A**). If the applicant is a corporation acting without an agent or solicitor, the application must be signed by an officer of the corporation and the corporation's seal (if any) must be affixed.

MUNICIPAL FREEDOM OF INFORMATION AND PROTECTION OF PRIVACY ACT

Application information is collected under the authority of the Planning Act, R.S.O. 1990, c.P.13. In accordance with that Act, it is the policy of the City of St. Thomas to provide public access to all Planning Act applications and supporting documentation submitted to the City.

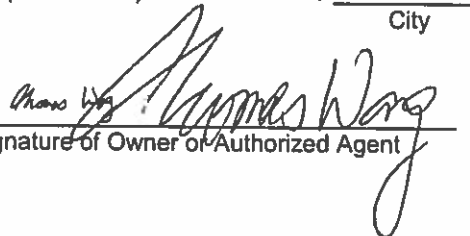
I, Thomas Wong, the Owner or Authorized Agent, hereby agree and acknowledge (*Print name of Owner or Authorized Agent*) that the information contained in this application and any documentation, including reports, studies and drawings, provided in support of the application, by myself, my agents, consultants and solicitors, constitutes public information and will become part of the public record. As such, and in accordance with the provisions of the *Municipal Freedom of Information and Protection of Privacy Act*, R.S.O. 1990, c.M. 56, I hereby consent to the City of St. Thomas making this application and its supporting documentation available to the general public, including copying and disclosing the application and its supporting documentation to any third party upon their request.

Collection of Personal Information:

Personal information on this form is collected under the authority of Section 41 of the *Planning Act*, R.S.O. 1990 and Sections 8 (1) and 10 of the *Municipal Act*, 2001, as amended, and will be used to contact the owner, applicant and/or agent regarding the Committee of Adjustment Application. Questions about this collection should be directed to the City Clerk, 545 Talbot Street, St. Thomas, Ontario, N5P 2T9 (519) 631-1680.

AFFIDAVIT OR SWORN DECLARATION

I, Thomas Wong of Brampton in the province of Ontario,
name of applicant City
make oath and say (or solemnly declare) that the information required under Schedule 1 of Ontario Regulation 545/06 and provided by the applicant in this application is accurate, and that the information contained in the documents that accompany this application is accurate.
Sworn (or declared) before me at the Brampton on this 13th day of January, 2022.
City Day Month Year


Signature of Owner or Authorized Agent

January 13, 2022
Date


Signature of Commissioner of Oaths, etc.

January 14/22
Date

APPENDIX A – AUTHORIZATION OF OWNER

If the applicant is not the owner of the subject lands, please complete the owner authorization concerning personal information as set out below.

I, _____, am the owner of the subject lands, and I authorize _____, to act on our behalf as the agent for the submissions required for all matters relating to the subject lands, and to provide any of my personal information that will be included in this application or collected during the planning process.

Date

Signature of Owner

APPENDIX B – ACKNOWLEDGEMENT OF LEGAL AND PLANNING FEES

In addition to the application fees listed in this application package, please note that where the City requires assistance from its solicitors or other technical or professional consultants in the processing of this application, the applicant shall be responsible for reimbursing all fees incurred by the City.

***Please note, Appendix B must be completed by the owner, not the authorized agent.**

I, Thomas Wong, am the owner of the subject lands, and I understand that further fees may be incurred by the City throughout the planning process and that I am responsible for reimbursing all fees.

January 13, 2022

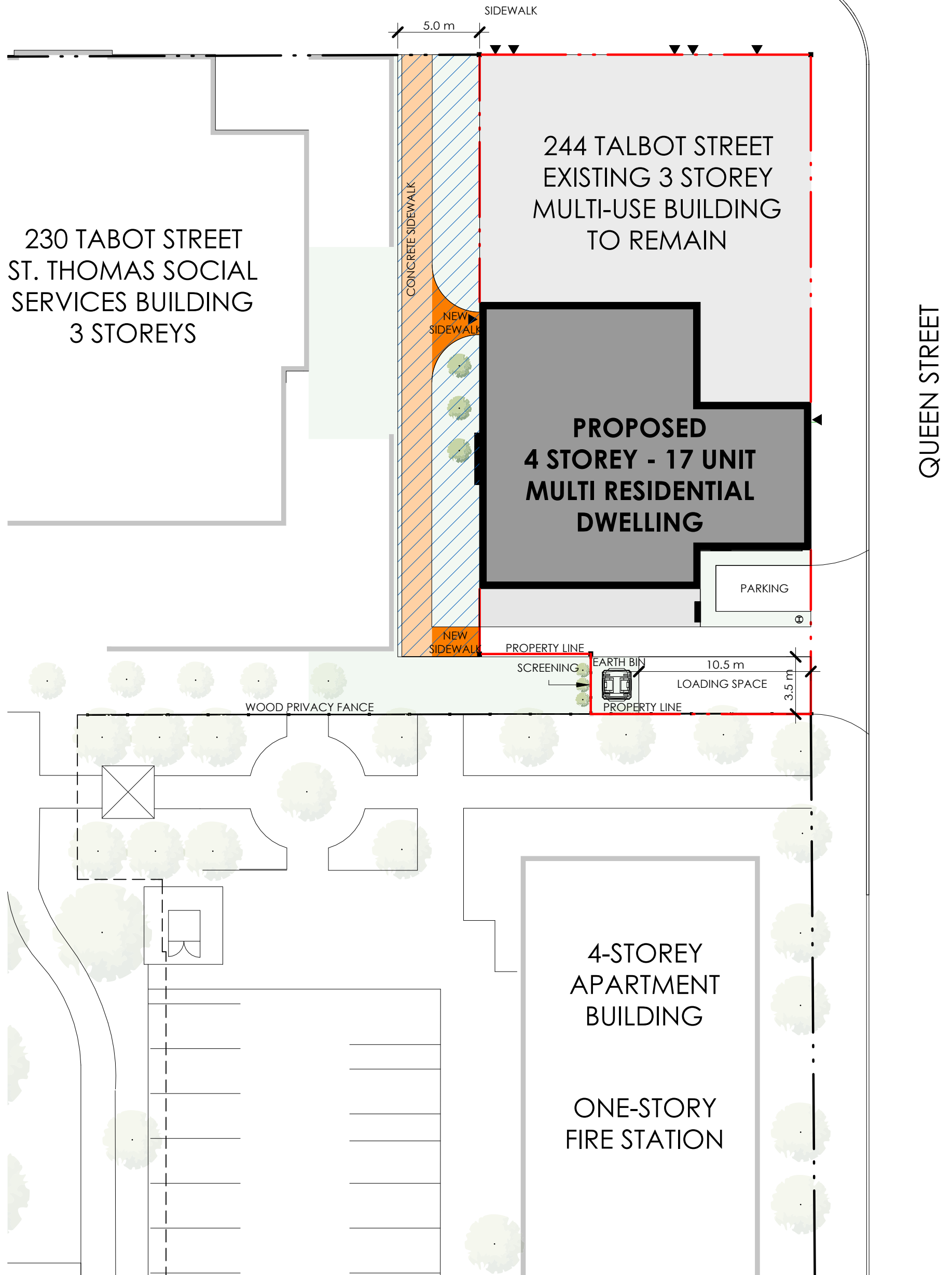
Date

Thomas Wong

Signature of Owner

NOTES:




1. Each copy of this application must be accompanied by a Sketch. The Sketch need not necessarily be to scale, but dimensions must be accurate, and showing the following:
 - (a) The boundaries and dimensions of the subject land;
 - (b) The location, size and type of all existing and proposed buildings and structures on the subject land, indicating the distance of the buildings or structures from the front yard lot line, rear yard lot line and the side yard lot lines;
 - (c) The approximate location of all natural and artificial features on the subject land and on land that is adjacent to the subject land that, in the opinion of the applicant, may affect the application. Examples include buildings, driveways, swimming pools, roads, railways, drainage ditches, wells, septic tank and tile bed, and trees;
 - (d) The current uses on land that is adjacent to the subject land;
 - (e) The location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public traveled road, a private road or a right-of-way;
 - (f) If access to the subject land is by water only, the location of the parking and docking facilities to be used;
 - (g) The location and nature of any restrictive covenant or easement affecting the subject land;
2. The Committee of Adjustment may require that a preliminary drawing be prepared, signed and dated by an Ontario Land Surveyor.
3. If this application is signed by an agent or solicitor on behalf of an applicant, the owner's written authorization must accompany the application. If the applicant is a corporation acting without agent or solicitor, the application must be signed by an officer of the corporation and the corporation's seal (if any) must be affixed.



SITE PLAN.

1" = 20'-0"

KEY PLAN

-  LIMITING DISTANCE AGREEMENT REQUEST
-  EASEMENT REQUEST LOCATION
-  NEW SIDE WALK ENCROACHING ON ADJACENT PROPERTY REQUEST

COMMISSION:
**PROPOSED 4 STOREY MULTI
RESIDENTIAL DWELLING
CONCEPT**
244 TALBOT STREET, ST. THOMAS, ONTARIO

NO.	DATE:	REVISION:	BY:



SHEET TITLE:
**EASEMENT
REQUEST/
LIMITING
DISTANCE
AGREEMENT**

Issued for Re-Zoning	
Issued for Site Plan Agreement:	
Issued for Permit:	
Issued for Tender:	Issued for Construction:
DRAWN BY: MCD	DWG. No.
CHECKED BY: JMR, MDA	SK1.
DATE: NOVEMBER 17, 2021	
SCALE: AS SHOWN	PROJECT No.: 2021-140

February 25, 2022

Submitted Digitally

Mr. Jon Hindley
Corporate Administrative & Accessibility Clerk
City of St. Thomas
545 Talbot Street
St. Thomas, ON
N5P 3V7

Dear Mr. Hindley:

**Re: Minor Variance Application
2735125 Ontario Inc.
244-248 Talbot Street
City of St. Thomas
Our File No.: 2022/01**

We are the Planning Consultants for 2735125 Ontario Inc., the owner of the subject lands located at 244-248 Talbot Street. We have been requested to provide a planning opinion on the minor variance application recently filed for the subject lands. The purpose of this letter is to provide a planning analysis and justification for the requested minor variances to St. Thomas Zoning By-law 50-88 ("ZBL"). The minor variances propose to vary the height and floor area permissions of the ZBL to facilitate proposed additions to the existing heritage building.

Variations Requested

The requested minor variances are as follows:

- To permit a building height of four (4) storeys in the Downtown Talbot Streetscape. Section 4.3.6.1.2 of the ZBL currently permits a maximum building height of three (3) storeys.
- To permit a residential addition increase of 147.9%. Section 12.3.1 of the ZBL provides that the floor area of any addition or of all additions to any building existing at the date of passing of the by-law, which addition or additions are used for residential purposes, shall not exceed twenty-five percent (25%) of the floor area in the existing building used for residential purposes.

Context

The subject lands are located at the southwest corner of Talbot Street and Queen Street in the west end of Downtown St. Thomas. The lands currently contain an existing

three (3) storey heritage building and a single storey addition at the rear. There are four (4) existing ground floor commercial units (three of the units form part of the 3 storey building facing Talbot Street, and one unit forms part of the single storey addition at the rear). There are 9 residential units in the upper floors of the heritage building. The existing building was constructed in 1870. Rear additions to the building were built in 1903 and 1950. The façade of the building has recently been renovated, while the rear portion of the building is in a state of disrepair. The lands are surrounded by a variety of land uses including auto repair shops to the north and east, commercial and office uses to the north, a new three (3) storey St. Thomas Elgin Social Services building to the west, and vacant lands to the south. These lands are currently being redeveloped for a four (4) storey apartment building and a fire hall.

Proposal

The proposed development will comprise the retention of the front portion of the heritage building and demolition of the existing additions to the rear of the building. A new, upgraded four (4) storey residential addition will be constructed at the rear of the building containing seventeen (17) rental apartment units. The three (3) existing ground floor commercial units fronting Talbot Street will be retained.

Official Plan

The City of St. Thomas Official Plan ("OP") designates the property "Talbot West" according to Schedule A – Land Use Plan. The property is also located within the "Heritage Conservation District" according to Schedule F. The Talbot West designation is covered under Section 5.3 of the OP which provides policies for all downtown designations. This section lists goals and policies for the downtown, some of which apply to this proposal. Under Section 5.3.1.2 (Goals), the following goals are pertinent:

- i. **the primary goal is the maintenance and enhancement of the key role of "Downtown" as the principal retail, office, service and public administration in St. Thomas;**
- iii. **the introduction of an increased residential population in "Downtown" through redevelopment schemes;**
- iv. **the continuation of programs for civic beautification and refurbishment through joint municipal and private efforts;**
- v. **the redevelopment of selected areas of "Downtown" by comprehensive schemes through joint municipal and private investment to increase the diversity and the level of activity in the "Downtown" area.**

The proposed development will maintain retail uses on the ground level fronting Talbot Street, with seventeen (17) rental apartment units proposed to locate at the rear of the building. The proposal will contribute to beautification and refurbishment of the area by removing the deteriorating rear addition and replacing it with a larger upgraded addition, while maintaining the heritage façade of the original building. The redevelopment will increase the level of activity in the downtown by increasing the residential population. The General Policies under Section 5.3.1.1 state that:

5.3.1.3.1 The "Downtown" area shall remain as the main concentration of pedestrian-oriented retail, office, service and public administration in St. Thomas. New development or redevelopment shall support the concentration of activities in "Downtown".

5.3.1.3.3 Redevelopment plans for areas in the "Downtown" where the quality of buildings has declined, land use incompatibilities have developed or where the level of land use intensity has decreased, shall be investigated and prepared, as required, by Planning Board and Council. Implementation of redevelopment plans will occur through joint municipal and private investment and the application of relevant provisions from the Municipal Act, The Planning Act, and other appropriate enabling legislation.

5.3.1.3.4 Any redevelopment plans, rehabilitation or conservation schemes shall be evaluated on the basis of:

- **their effect on complimenting the overall design;**
- **the provision of public amenities;**
- **the protection and practical utilization of historic resources;**
- **the increase in the level of pedestrian activity to and from the project;**
- **conformity with detailed policies for "Talbot West", "Talbot Central" and "Talbot East".**

The proposed redevelopment will provide additional residential units in a pedestrian oriented location to access downtown stores, services and amenities. The proposal has an attractive and appropriate design which preserves the historic features of the heritage building, adds rental accommodation, and will increase pedestrian activity in the downtown. The proposal also conforms to the policies for "Talbot West", as detailed below.

Talbot West

Policies specific to the "Talbot West" designation are addressed under Section 5.3.2 of the OP. Talbot West contains a mix of retail and service commercial uses, as well as residential uses. This section recognizes that some deteriorating buildings need major renovation or redevelopment. The City provides the following objective for the Talbot West Area:

"The focus should continue to be on comprehensive redevelopment of the area with an emphasis on residential intensification/redevelopment and tourism development."

The proposal addresses the above objective through redevelopment of a property for residential intensification. Specific Goals under Section 5.3.2.2 of the OP include the following:

- **to encourage the introduction of new uses into "Talbot West" through comprehensive redevelopment schemes which may involve joint municipal and private actions that increase the resident population and number of people coming into the area;**
- **to ensure that any redevelopment scheme provides for the proper siting and orientation of buildings and that the height and bulk of new buildings provide adequate light and open space;**
- **to permit a variety of compatible commercial and residential uses;**
- **to continue the program of civic beautification west along Talbot Street from Metcalfe and Pearl Streets;**
- **to encourage the development of a more visually distinctive western gateway into the "Downtown" through a combination of public and private sector investment in building development/redevelopment and streetscape/landscape improvements.**

The proposed development will increase the residential population in the downtown. The orientation of the proposed addition will be to the rear of the existing façade, ensuring the increased height and density will not have adverse impacts on the heritage attributes of the Talbot Street frontage. The development will contain compatible commercial and residential uses within a mixed-use building and will contribute to beautification and redevelopment of the area.

Under Section 5.3.2.3, the following permitted uses are as follows:

the permitted uses are offices, personal service shops, existing commercial uses that directly serve the automobile, tourism/recreation and residential uses. Public utilities, institutional uses, public uses, walkways and park/parkettes are also permitted.

Residential uses are subject to the following policies:

- **the renovation or conversion of existing buildings in Talbot West for residential use is encouraged;**
- **residential uses in new buildings in Talbot West are subject to the policies contained in section 5.2.3.2;**
- **commercial and/or office uses are encouraged on the ground floor level of new or existing buildings abutting Talbot Street.**

The proposed redevelopment of the existing building will provide an increase in residential units in the downtown. Commercial uses will be maintained on the ground floor abutting Talbot Street.

Heritage

The subject property is situated within the Downtown St. Thomas Heritage Conservation District (HCD), designated under the *Ontario Heritage Act* and shown on Schedule F of the OP. Designated HCD policies are addressed under Section 4.6.11 of the OP. Section 4.6.11.2 provides that the St. Thomas Heritage Conservation District Plan will be used to evaluate planning and development applications. Section 4.6.11.3 of the OP reads as follows:

The Downtown St. Thomas Heritage Conservation District Plan includes a comprehensive set of design guidelines to direct future development and to protect the unique character of the area, and encourages retention of existing structures and landscapes that contribute to the downtown character of the area. The design of buildings in the Downtown St. Thomas Heritage Conservation District shall, at all times, have regard to the detailed architectural and urban design guidelines and intent of the Downtown St. Thomas Heritage Conservation District Plan.

The proposal will be consistent with the design guidelines of this plan in terms of heritage conservation, height, materials, orientation and massing, etc., in order to preserve the character of the existing heritage building. The location of the building in the HCD also requires that a Heritage Impact Assessment (HIA) be provided prior to development. Stantec Consulting Ltd. was retained to prepare an HIA, which was submitted to the City. The HIA evaluated anticipated heritage impacts from the proposal and concluded that:

The impacts associated with this undertaking were evaluated and the proposed development was determined to be aligned with the Downtown HCD Plan goals, objectives, and principles.

The HIA also provided a list of recommendations to mitigate potential heritage impacts, which suggest a demolition plan that displays consideration of heritage attributes, consultation with a heritage professional should any design changes arise, use of site plan controls such as protective barriers, and vibration studies to monitor vibration levels before, during and after construction. These recommendations will be implemented through the redevelopment.

Zoning By-law 50-88

The implementing ZBL zones the property “Downtown Talbot West Commercial Zone” (C1). The C1 Zone provisions are found in Section 12 of the ZBL. The permitted uses under Section 12.1 include a variety of commercial uses (i.e., retail store, bakery, personal service shop, etc.), as well as residential, subject to the provisions of Section 12.3. Section 12.3 addresses “Permitted Residential Uses” and contains provisions restricting the floor area of residential additions to existing buildings, and the number and size of dwelling units. The number and size of dwelling units for the proposed

development is consistent with these provisions. The floor area restrictions are captured under the following provision:

In addition to the uses permitted by (a) and (m) inclusive of subsection 12.1, any building in this zone existing at the date of the passing of this by-law or any part of any such building may be used for any residential purpose. Where a dwelling unit is erected in any such building after the date of passing of this by-law, the floor area of any such dwelling unit shall comply with the provision of paragraph 12.3.5. The floor area of any new addition or of all additions to any building existing at the date of the passing of this by-law, which addition or additions are used for residential purposes, shall not exceed twenty-five percent (25%) of the floor area in the existing building used for residential purposes.

The application proposes an increase in floor area of 147.9% for residential purposes. A minor variance is being requested to allow for an increase in residential floor area. With respect to Maximum Building Height, Section 12.5.1.3 of the ZBL permits a maximum height of 45 metres. However, Section 4.3.6 pertaining to the Downtown Talbot Streetscape restricts the maximum building height to three (3) storeys. The proposed development will be four (4) storeys and 15 metres in height. The four (4) storey building height requires a minor variance.

Planning Opinion

We have assessed the requested variances having regard for the four (4) tests set out in the *Planning Act*. Our planning opinion is outlined below.

Do the variances meet the general intent and purpose of the Official Plan?

Yes. The proposed increases in height and residential floor area are in conformity with the OP. The OP encourages the redevelopment of deteriorating buildings, and intensification of residential uses in the downtown. The proposal will add a new, upgraded addition for residential purposes, while preserving the heritage portion of the building fronting Talbot Street with ground floor commercial uses. The property is also in an appropriate location to encourage walkability and increase activity in the downtown.

It is my opinion that the variances to facilitate redevelopment will contribute to the overall population and beautification of the downtown, in conformity with the goals and policies of the OP.

Do the variances meet the general intent and purpose of the Zoning By-law?

Yes. The general intent and purpose of the ZBL is to implement the goals and policies of the OP. The ZBL is in conflict with the OP in terms of the expectations for residential intensification in the downtown. Where the OP encourages an increase in residential development in the Talbot West area, the provisions of the ZBL place restrictions on

residential floor area. Based on these provisions, the ZBL appears to discourage reasonable redevelopment and intensification in the downtown, whereas the OP encourages such development. The proposed increase in height and floor area is appropriate for the size of the property and compatible with surrounding land uses, and reasonable in a downtown setting. It is my opinion the proposal would not constitute overdevelopment of the subject property. As well, while the provisions for the Downtown Talbot Streetscape allow a maximum height of three (3) storeys, the C1 Zone allows for a maximum building height of 45 metres. The proposal is four (4) storeys, but only 15 metres in height.

It is noted that the 25% appears to only restrict residential uses. The intent and purpose of the 25% restriction on residential is not clear. The ZBL appears to permit a 147.9% increase for institutional and commercial uses but not for residential. Such a restriction is not in alignment with the OP. The 25% provision does not appear to be a concern with respect to the magnitude of the addition, as it only restricts residential and not other uses.

With respect to building height, it is conceivable that three (3) storeys with higher ceilings/lofts could be higher than the proposed four (4) storey, 15 metre building height. The four (4) storey building height only applies to the rear half of the building and will not be visible from Talbot Street. The four (4) storey height is also consistent with the height of the redevelopment occurring immediately south.

It is my opinion that the proposed minor variances to the ZBL for increased height and residential floor area meet the intent and purpose of the ZBL, which is to implement the OP, provide appropriate standards for development and to prevent the overdevelopment of lands.

Are the variances desirable for the appropriate development or use of the land?

Yes. The redevelopment of deteriorating buildings, preservation of heritage resources, and increase of residential uses and rental accommodation in the downtown are desirable for the appropriate development or use of the land. The redevelopment will contribute to the overall beautification of the subject property and the downtown while preserving a heritage building. The variances requested will provide an appropriate increase of residential units in a pedestrian oriented location. The ground floor commercial uses will also be maintained consistent with the main street character of Talbot Street.

It is my opinion that the requested minor variances are desirable for the appropriate development or use of the property.

Are the variances minor in nature?

Yes. The evaluation of a minor variance is not a mathematical exercise, but a measure of the impact the variance(s) will have on the surrounding area. The proposed height

increase from three (3) to four (4) storeys will have minimal impact. The four (4) storey addition will be located beyond the front façade of the existing building and will therefore not be visible from the Talbot Street frontage. The redevelopment will replace an existing deteriorating portion of the building and contribute to the residential intensification goals and policies of the OP. As well, given the nature and proximity of surrounding uses, there are no adverse impacts expected such as shadow or overlook from the increased height and density. The scale of the development will be compatible with surrounding uses including the new three (3) storey St. Thomas Elgin Social Services building to the west, and the four (4) storey apartment building currently under construction immediately south.

It is my opinion that there will be no adverse impacts arising from the requested variances, and that the variances are minor in nature.

Conclusion

It is my opinion that the minor variances requested satisfy the four (4) tests as set out in the *Planning Act* and the proposed variances are reasonable and appropriate in a downtown context. It is my opinion that the variances requested are in the public interest.

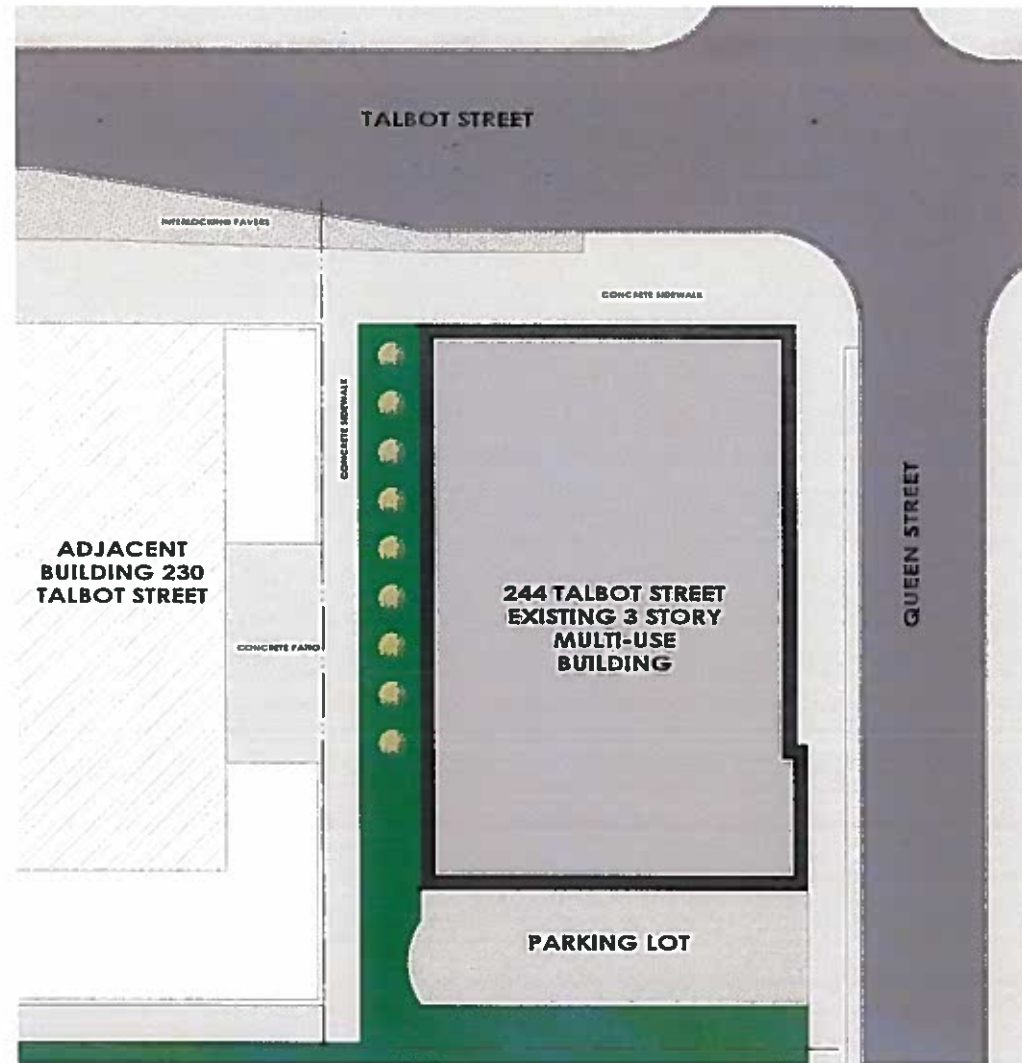
Yours truly,
WELLINGS PLANNING CONSULTANTS INC.



Glenn J. Wellings, MCIP, RPP



- c. Thomas Wong/Roy Cleaves - 2735125 Ontario Inc.
 Steve Craig/Kevin McClure – City Planning and Building Services Department.



SITE PLAN
1" = 10'-0"

GENERAL NOTES

NO.	DATE	BY	DESCRIPTION

COMMISSION

**EXISTING 3 STORY
MULTI-USE BUILDING**

244 TALBOT STREET ST. THOMAS ONTARIO

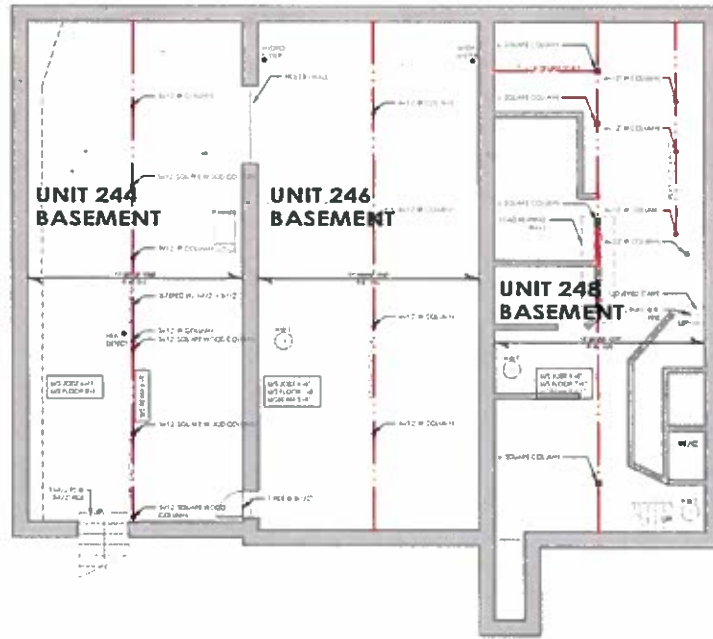


SHEET TITLE

SITE PLAN

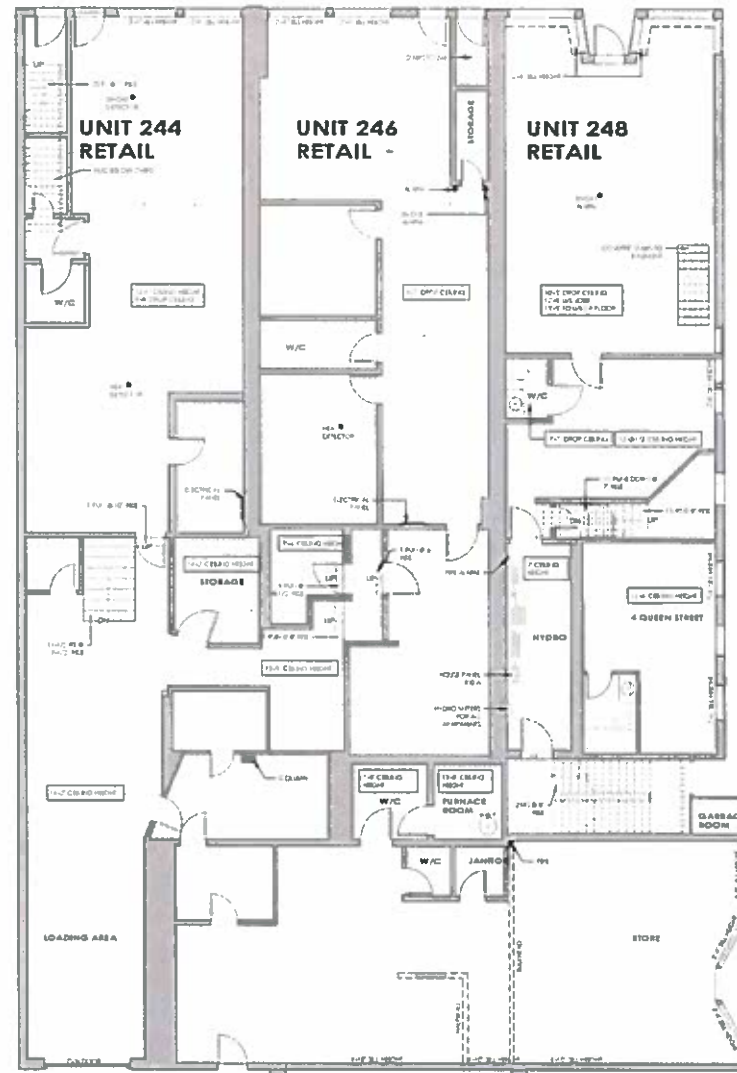
Issued for Per-2016	
Issued for Site Plan Agreement	
Issued for Permit	
Issued for Tender	
Issued for Construction	
Drawn BY	DRG. No.
CHECKED BY	
DATE	
SCALE	
PROJECT No.	

.SP1



BASEMENT FLOOR PLAN

3/16" = 1'-0"



FIRST FLOOR PLAN

3/16" = 1'-0"

GENERAL NOTES

NO.	DATE	BY	BY

COMMISSION

**EXISTING 3 STORY
MULTI-USE BUILDING**

24 TALBOT STREET, ST. THOMAS, ONTARIO



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SHEET TITLE

**BASEMENT AND
GROUND FLOOR
PLANS**

Prepared by: Ruzong

Checked by: (Signature)

Approved by: (Signature)

Approved by: (Signature)

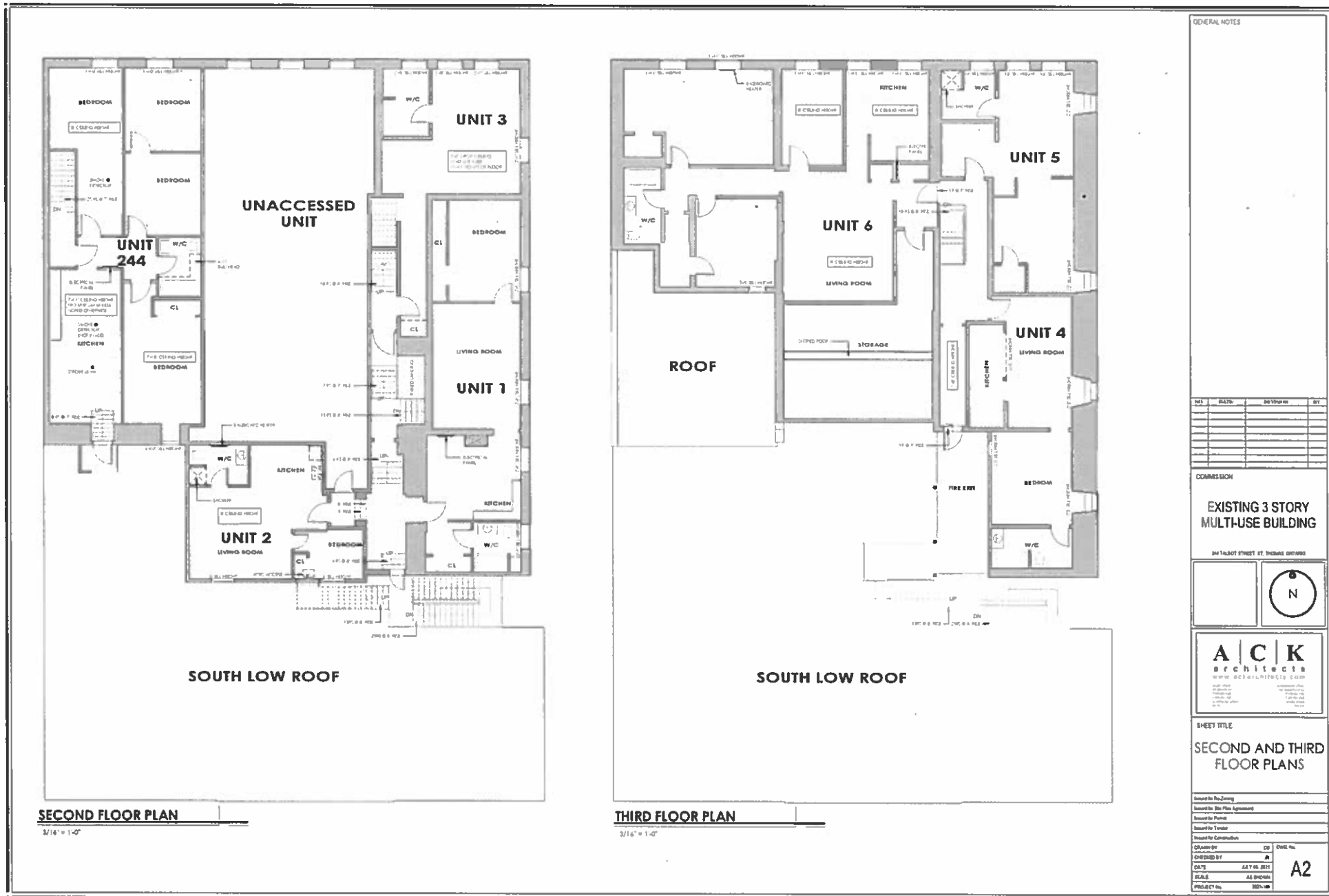
Approved by: (Signature)

DATE: JULY 16, 2021

SCALE: AS SHOWN

PROJECT NO: 2021-10

A1



SECOND FLOOR PLAN

3/16" = 1'-0"

THIRD FLOOR PLAN

3/16" = 1'-0"

GENERAL NOTES

NO.	DATE	REVISION	BY

COMMISSION

**EXISTING 3 STORY
MULTI-USE BUILDING**

341 TRINITY STREET ST. THOMAS, ONTARIO



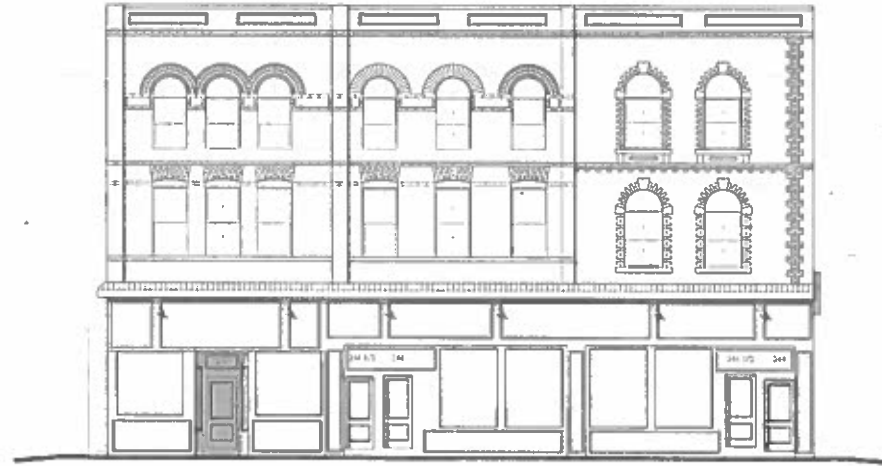
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www.ackarchitects.com

1000-100
1000-100
1000-100
1000-100
1000-100
1000-100
1000-100
1000-100

SHEET TITLE

**SECOND AND THIRD
FLOOR PLANS**

Drawn by	DR	DWG. No.
Checked by	CR	
Date	14.11.2011	A2
Scale	AS SHOWN	
Project No.	1000-100	



NORTH ELEVATION
3/16" = 1'-0"



EAST ELEVATION
3/16" = 1'-0"

GENERAL NOTES

REV	DATE	DESCRIPTION	BY

COMMISSION

**EXISTING 3 STORY
MULTI-USE BUILDING**

241 TRUBB STREET, ST. THOMAS, ONTARIO



SHEET TITLE

**NORTH AND EAST
ELEVATIONS**

Issued for Rezoning

Issued for Site Plan Approval

Issued for Permit

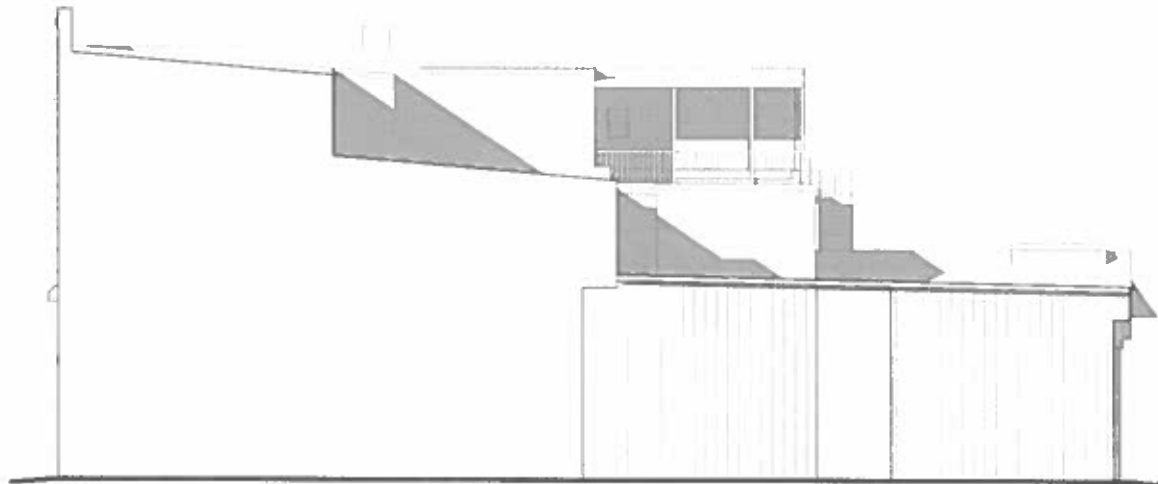
Issued for Construction

DESIGNED BY	DR	DWG No.
CHECKED BY	JR	
DATE	AUG 08 2017	A3
SCALE	AS SHOWN	
PROJECT No.	2017-10	



SOUTH ELEVATION

3/16" = 1'-0"



WEST ELEVATION

3/16" = 1'-0"

GENERAL NOTES

NO.	DATE	DESCRIPTION	BY

COMMISSION

**EXISTING 3 STORY
MULTI-USE BUILDING**

341 TALBOT STREET ST. THOMAS, OHIO 44880



SHEET TITLE

**SOUTH AND WEST
ELEVATIONS**

DESIGNED BY

DR. PHILIP AGRESTI

CHECKED BY

AA T. B. 2011

DATE

AS SHOWN

SCALE

AS SHOWN

PROJECT NO.

2011-01

DR. PHILIP AGRESTI

AA T. B. 2011

AS SHOWN

AS SHOWN

2011-01

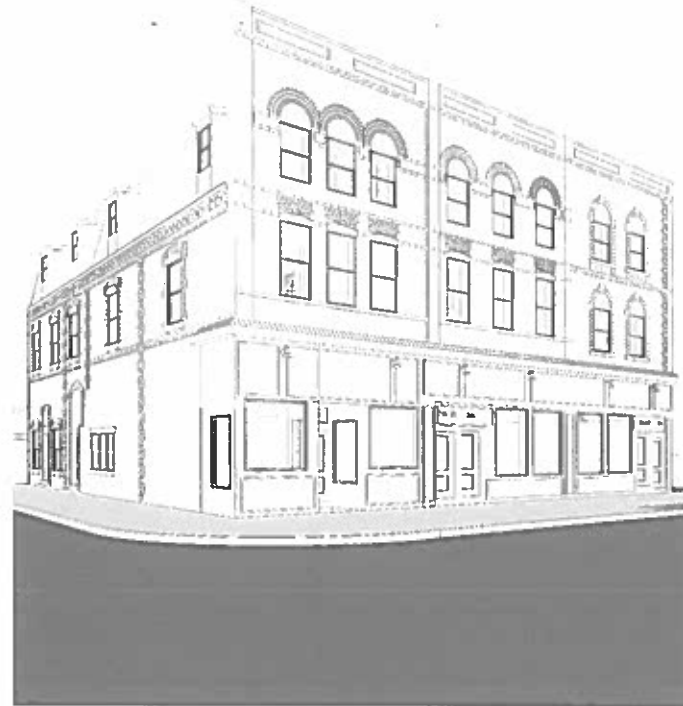
A4



SOUTH EAST ISOMETRIC



NORTH WEST ISOMETRIC



NORTH EAST ISOMETRIC

GENERAL NOTES

NO.	DATE	BY	SYMBOL	PT.

COMMISSION

**EXISTING 3 STORY
MULTI-USE BUILDING**

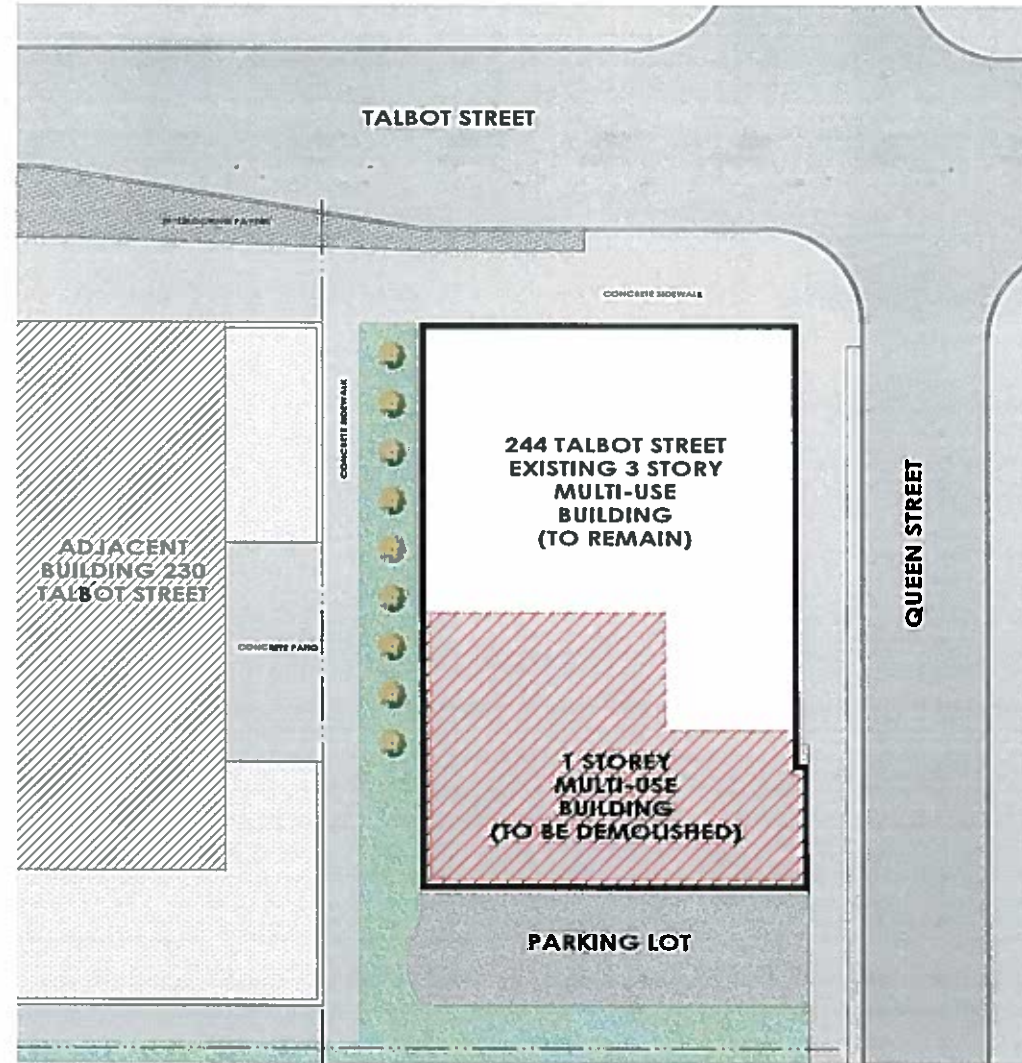
241 TALBOT STREET ST. LOUIS, MISSOURI



SHEET TITLE

ISOMETRIC VIEWS

Drawn by		DWG No.	
Checked by			
Date	JULY 08 2021		
Scale	AS SHOWN		A5
Project No.	201110		



SITE PLAN

1" = 10'-0"

GENERAL NOTES:

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NO.	DATE	REVISION	BY

COMMISSION

EXISTING 3 STOREY MULTI-USE BUILDING

244 TALBOT STREET ST. THOMAS, ONTARIO

N

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416-291-1112
416-291-1113
416-291-1114
416-291-1115
416-291-1116
416-291-1117
416-291-1118
416-291-1119
416-291-1120

SHEET TITLE

SITE PLAN

Issued for Review

Issued for Site Plan Agreement

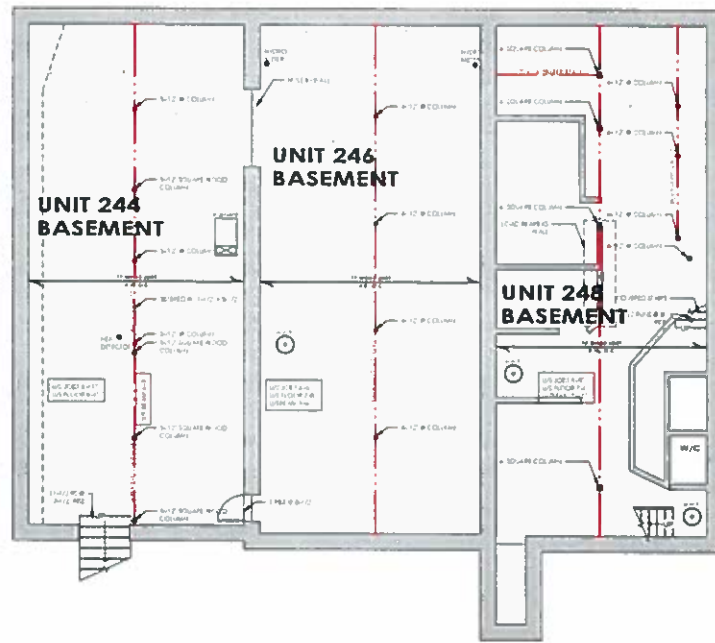
Issued for Permit

Issued for Tender

Issued for Construction

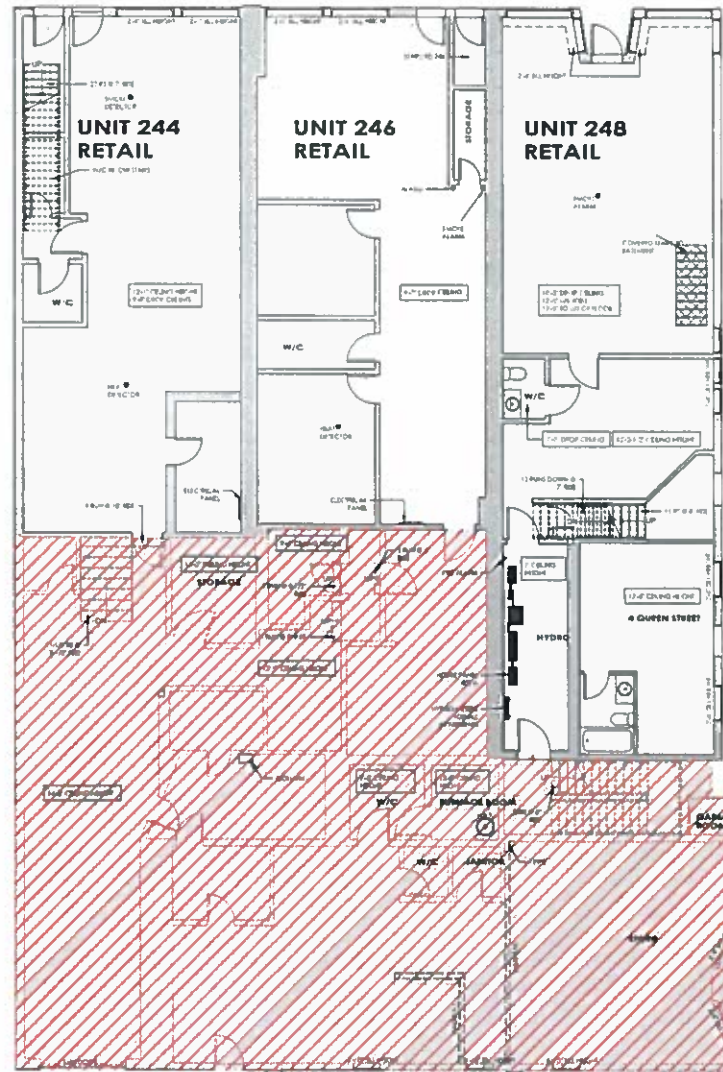
DESIGNED BY	DATE	DRAWN BY	DATE
CHECKED BY	DATE		
SCALE			
PROJECT NO.			

.SP1



BASEMENT FLOOR PLAN

3/16" = 1'-0"



FIRST FLOOR PLAN

3/16" = 1'-0"

////// AREA TO BE DEMOLISHED

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NO.	DATE	REVISION	BY

COMMISSION

EXISTING 3 STOREY MULTI-USE BUILDING

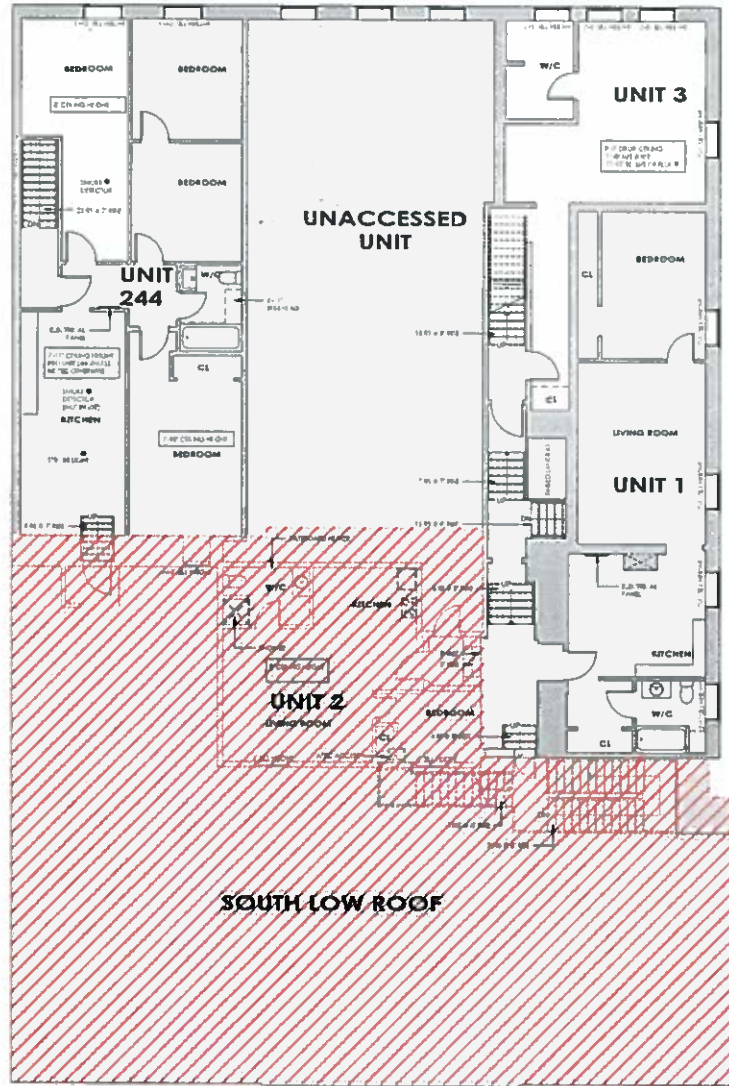
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SHEET TITLE
BASEMENT AND GROUND FLOOR PLANS

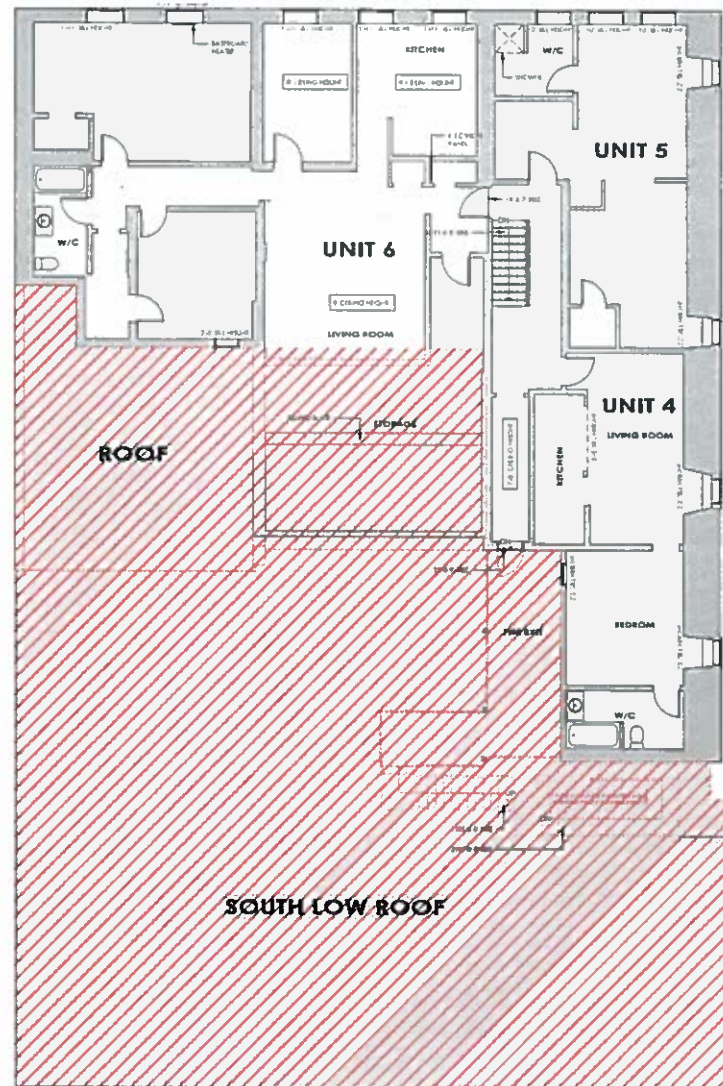
Prepared by: [Name]	Checked by: [Name]
Designed by: [Name]	Drawn by: [Name]
Reviewed by: [Name]	Scale: AS SHOWN
Project No. [Number]	Sheet No. A1



SECOND FLOOR PLAN

3/16" = 1'-0"

AREA TO BE DEMOLISHED



THIRD FLOOR PLAN

3/16" = 1'-0"

AREA TO BE DEMOLISHED

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REV.	DATE	REVISION	BY

COMMISSION
EXISTING 3 STOREY
MULTI-USE BUILDING

311 SOUTH STREET ST. THOMAS, ONTARIO



SHEET TITLE
SECOND AND THIRD
FLOOR PLANS

Drawn by: DC	Scale: AS SHOWN
Checked by: AM	Date: OCTOBER 2011
Project No.: 2011-08	Sheet No.: A2



NORTH ELEVATION
3/16" = 1'-0"



////// AREA TO BE DEMOLISHED

EAST ELEVATION
3/16" = 1'-0"

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COMMISSION
EXISTING 3 STOREY MULTI-USE BUILDING

341-343 WEST STREET ST. THOMAS ONTARIO

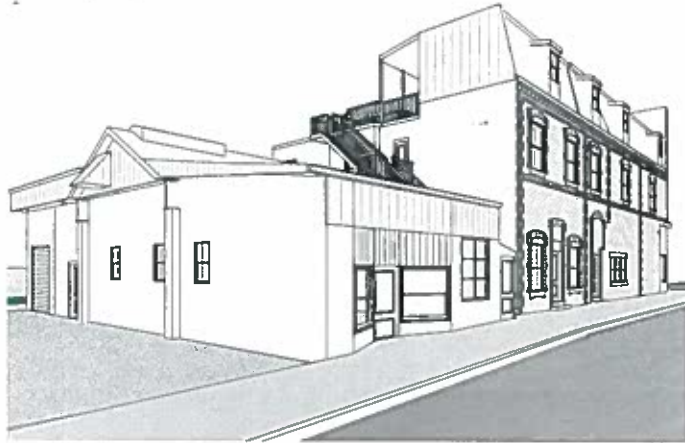


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architects
100 W. GUY ST. ST. THOMAS ONT. N6A 1G1
Tel: 519-452-1111 Fax: 519-452-1112
www.ack.ca

SHEET TITLE
NORTH AND EAST ELEVATIONS

Drawn by	MD	DRAWN BY
Checked by	MD	CHECKED BY
Date	OCTOBER 2011	DATE
Scale	AS SHOWN	SCALE
Project No.	2011-010	PROJECT NO.

A3



SOUTH EAST ISOMETRIC



NORTH WEST ISOMETRIC



NORTH EAST ISOMETRIC

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 FOR
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NO.	DATE	BY	BY

COMMISSION
**EXISTING 3 STOREY
 MULTI-USE BUILDING**
 141 TALBOT STREET ST. THOMAS, ONTARIO



SHEET TITLE
ISOMETRIC VIEWS

Drawn by	UCS	DATE	2021-08-10
Checked by	JMR	DATE	2021-08-10
Scale	AS SHOWN	SCALE	AS SHOWN
Project No.	2021-08	PROJECT NO.	2021-08

A5

PROPOSED 4 STOREY MULTI RESIDENTIAL ADDITION CONCEPT

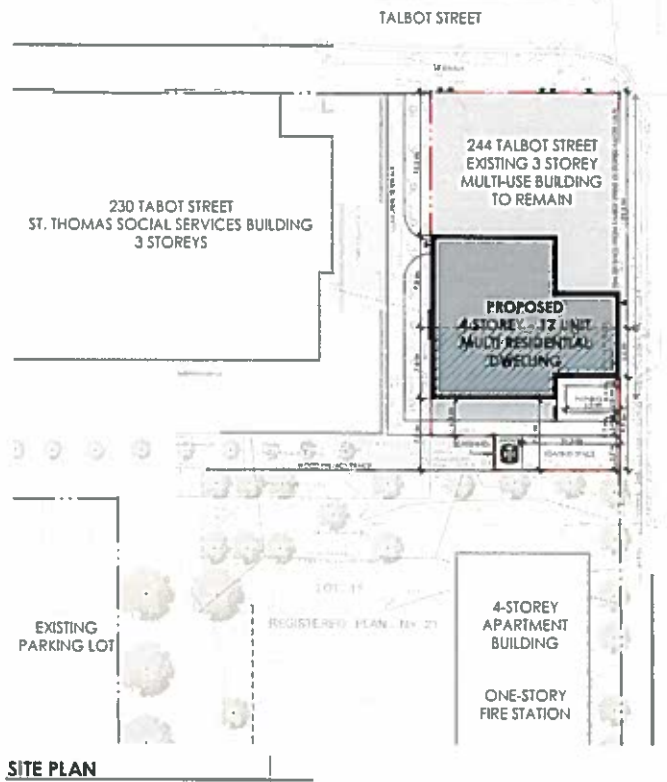
244 TALBOT ST, ST. THOMAS, ON, N5P 1B2

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- A1 LOWER LEVEL PLAN
- A2 FIRST FLOOR PLAN
- A3 SECOND FLOOR PLAN
- A4 THIRD FLOOR PLAN
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- A6 ROOF PLAN
- A7 NORTH ELEVATION
- A8 SOUTH ELEVATION
- A9 EAST ELEVATION
- A10 WEST ELEVATION
- A11 PERSPECTIVE DAY RENDERINGS

PROPOSED DEVELOPMENT - SITE STATISTICS		
	VALUES	COVERAGE (%)
EXISTING BUILDING AREA	792 SQ FT (73.1% OF 1070 SQ FT)	73.1%
PROPOSED BUILDING AREA (ADDITION)	2,420 SQ FT (225.9% OF 1070 SQ FT)	225.9%
TOTAL BUILDING COVERAGE	3,212 SQ FT (300.0% OF 1070 SQ FT)	300.0%
EXISTING SIDE YARD SETBACK	3.05 M (10.0 FT)	
PROPOSED SIDE YARD SETBACK	3.05 M (10.0 FT)	
EXISTING FRONT YARD SETBACK	3.05 M (10.0 FT)	
PROPOSED FRONT YARD SETBACK	3.05 M (10.0 FT)	
EXISTING REAR YARD SETBACK	3.05 M (10.0 FT)	
PROPOSED REAR YARD SETBACK	3.05 M (10.0 FT)	

SUITE STATISTICS			
	FLOOR AREA	TERRACE	TOTAL AREA
LOWER LEVEL			
SUITE 001	640 SF	340 SF	980 SF
SUITE 002	480 SF	330 SF	810 SF
FIRST FLOOR			
SUITE 101	440 SF	120 SF	560 SF
SUITE 102	480 SF	120 SF	600 SF
SUITE 103	400 SF		400 SF
SECOND FLOOR			
SUITE 201	590 SF	55 SF	645 SF
SUITE 202	550 SF	120 SF	670 SF
SUITE 203	700 SF	120 SF	820 SF
SUITE 204	540 SF	70 SF	610 SF
THIRD FLOOR			
SUITE 301	590 SF	55 SF	645 SF
SUITE 302	550 SF	120 SF	670 SF
SUITE 303	700 SF	120 SF	820 SF
SUITE 304	540 SF	70 SF	610 SF
SUITE 305	740 SF	300 SF	1040 SF
FOURTH FLOOR			
SUITE 401	590 SF	55 SF	645 SF
SUITE 402	690 SF	120 SF	810 SF
SUITE 403	540 SF	70 SF	610 SF
TOTALS	9740 SF	2048 SF	11828 SF



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NO.	DATE	REVISION	BY

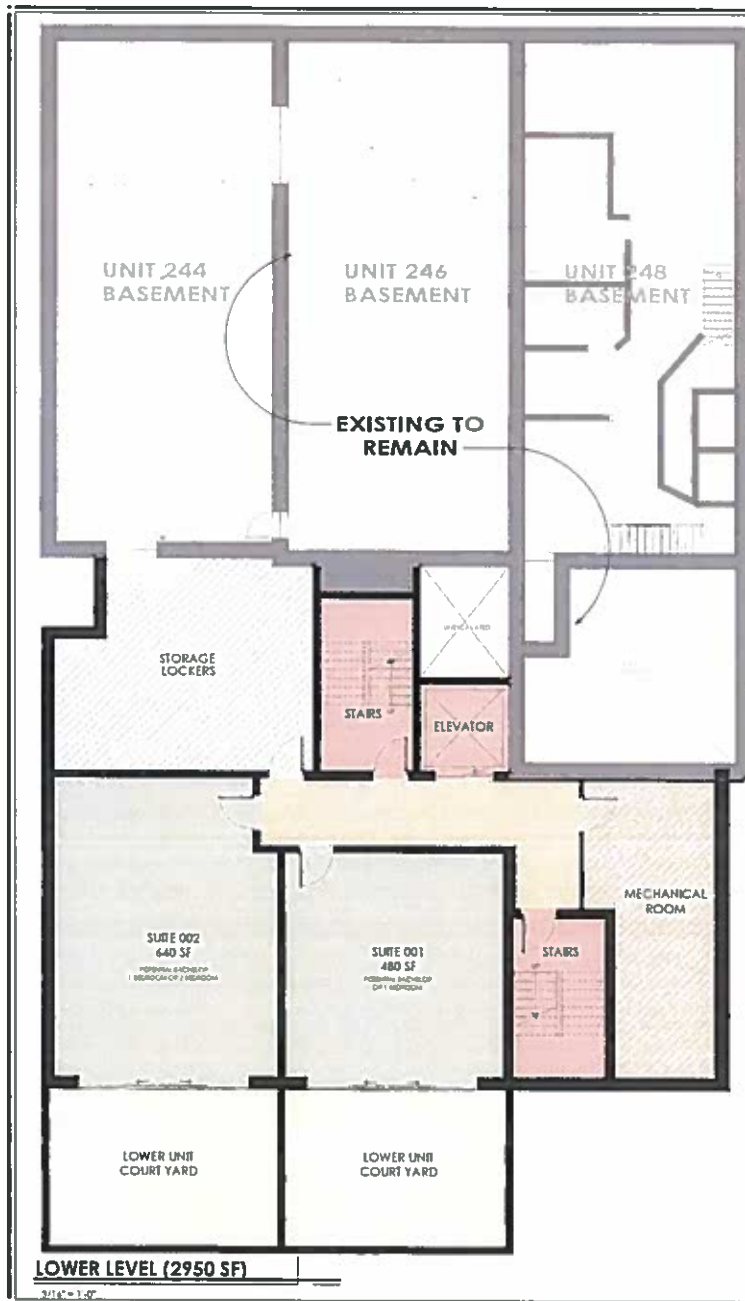
COMMISSION
PROPOSED 4 STOREY MULTI RESIDENTIAL DWELLING CONCEPT



SHEET TITLE
COVER PAGE/ SITE PLAN

DESIGNED BY	AKC	DRAWN BY	
CHECKED BY	AKC	DATE	
SCALE	AS SHOWN	PROJECT NO.	BCT-147

.A0



SOUTH EAST PERSPECTIVE

- LEGEND**
- MAJOR VERTICAL PENETRATIONS
 - UNIT GROSS AREA
 - LIMITED COMMON AREA
 - COMMON/ AMENITY AREA
 - SERVICE AREAS
 - OCCUPANT STORAGE

GENERAL NOTES
PRELIMINARY FOR DISCUSSION PURPOSES

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NO.	DATE	REVISION	BY
01	2015-08-10	ISSUED FOR CLIENT REVIEW	JMK
02	2015-08-10	ISSUED FOR CLIENT REVIEW	JMK

COMMISSION
PROPOSED 4 STOREY MULTI RESIDENTIAL DWELLING CONCEPT

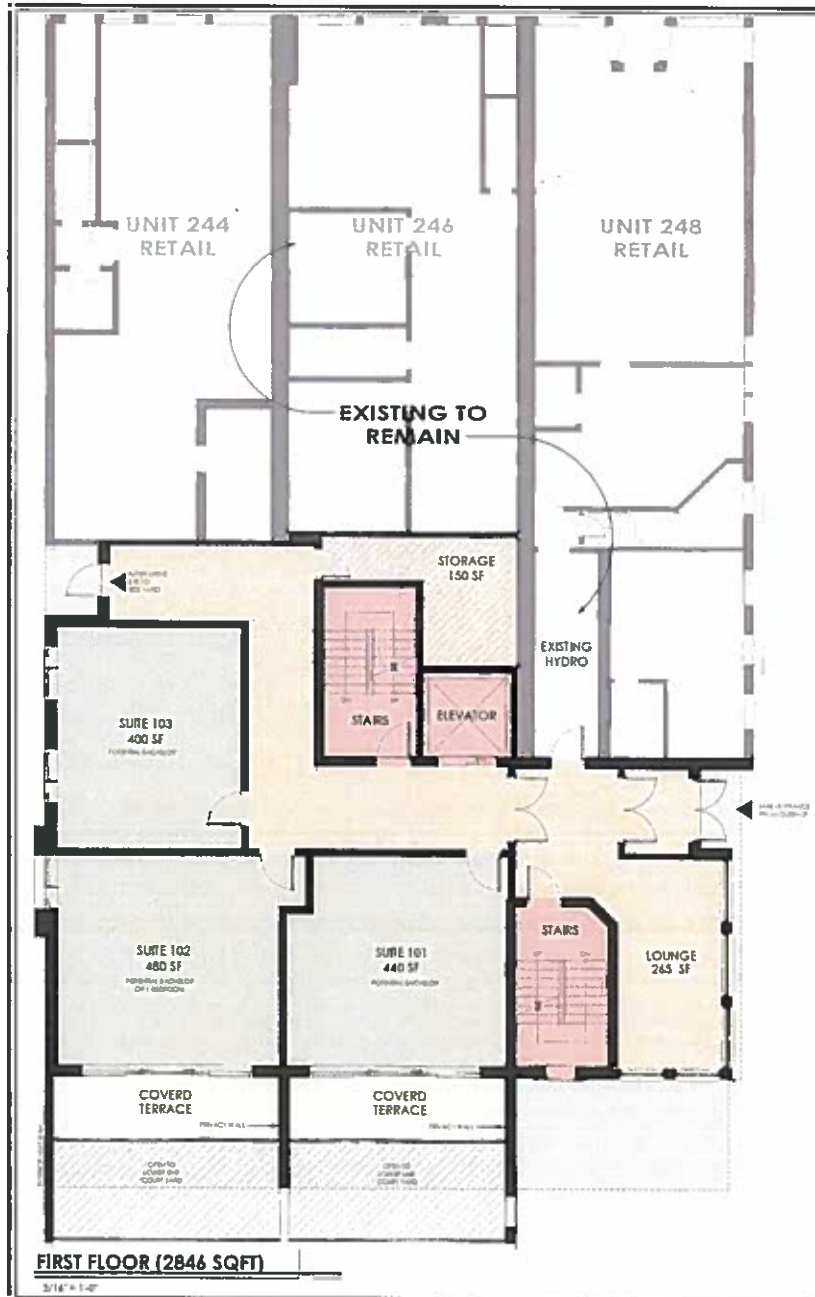
300 TOLBERT STREET, ST. THOMAS, ONTARIO



SHEET TITLE
LOWER LEVEL PLAN

Drawn by	JMK	Drawn by	JMK
Checked by	JMK	Checked by	JMK
Date	2015-08-10	Date	2015-08-10
Scale	AS SHOWN	Scale	AS SHOWN
Project No.	2015-08	Project No.	2015-08

A1



SOUTH EAST PERSPECTIVE.

- LEGEND**
- MAJOR VERTICAL PENETRATIONS
 - UNIT GROSS AREA
 - LIMITED COMMON AREA
 - COMMON/ AMENITY AREA
 - SERVICE AREAS
 - VOID/ OPEN TO BELOW
 - CANTILEVERD SECOND FLOOR

GENERAL NOTES

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COMMISSION

PROPOSED 4 STOREY MULTI RESIDENTIAL DWELLING CONCEPT

341 TILBURY STREET ST. THOMAS ONTARIO

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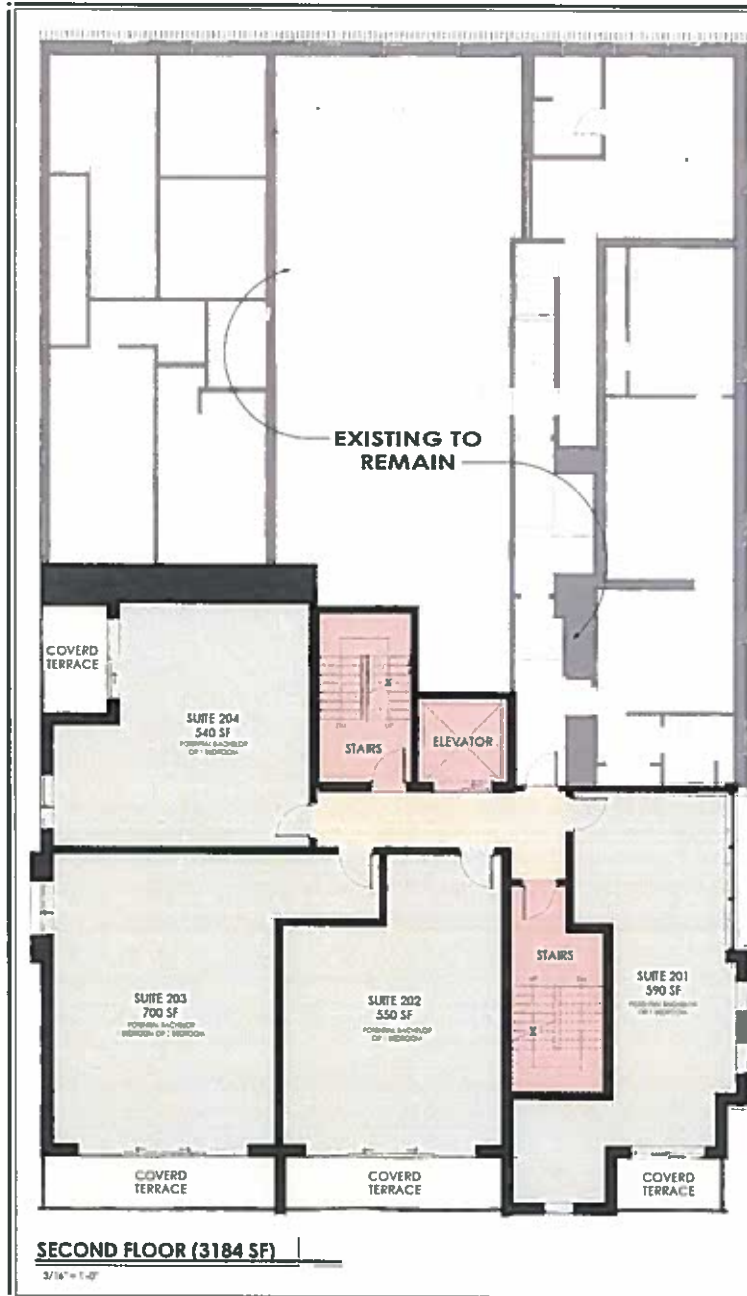
200 UNIVERSITY ST. ST. THOMAS ONTARIO
 N5P 1W7
 TEL: 519-452-1111

SHEET TITLE

FIRST FLOOR PLAN

Prepared by: [Name]	Checked by: [Name]
Designed by: [Name]	Reviewed by: [Name]
Drawn by: [Name]	Approved by: [Name]
Checked by: [Name]	Scale: 1/8" = 1'-0"
Date: 1/10/2021	Project No: 2021-01

A2



SOUTH EAST PERSPECTIVE..

- LEGEND**
- MAJOR VERTICAL PENETRATIONS
 - UNIT GROSS AREA
 - LIMITED COMMON AREA
 - COMMON/ AMENITY AREA
 - SERVICE AREAS
 - VOID/ OPEN TO BELOW

GENERAL NOTES

**PRELIMINARY
FOR
DISCUSSION
PURPOSES**

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1	12/15/2023	ISSUED FOR CLIENT REVIEW	ACK
2			
3			
4			
5			
6			
7			
8			
9			
10			

COMMISSION

**PROPOSED 4 STOREY
MULTI RESIDENTIAL
DWELLING CONCEPT**

401 N. BOST STREET ST. THOMAS, ONTARIO

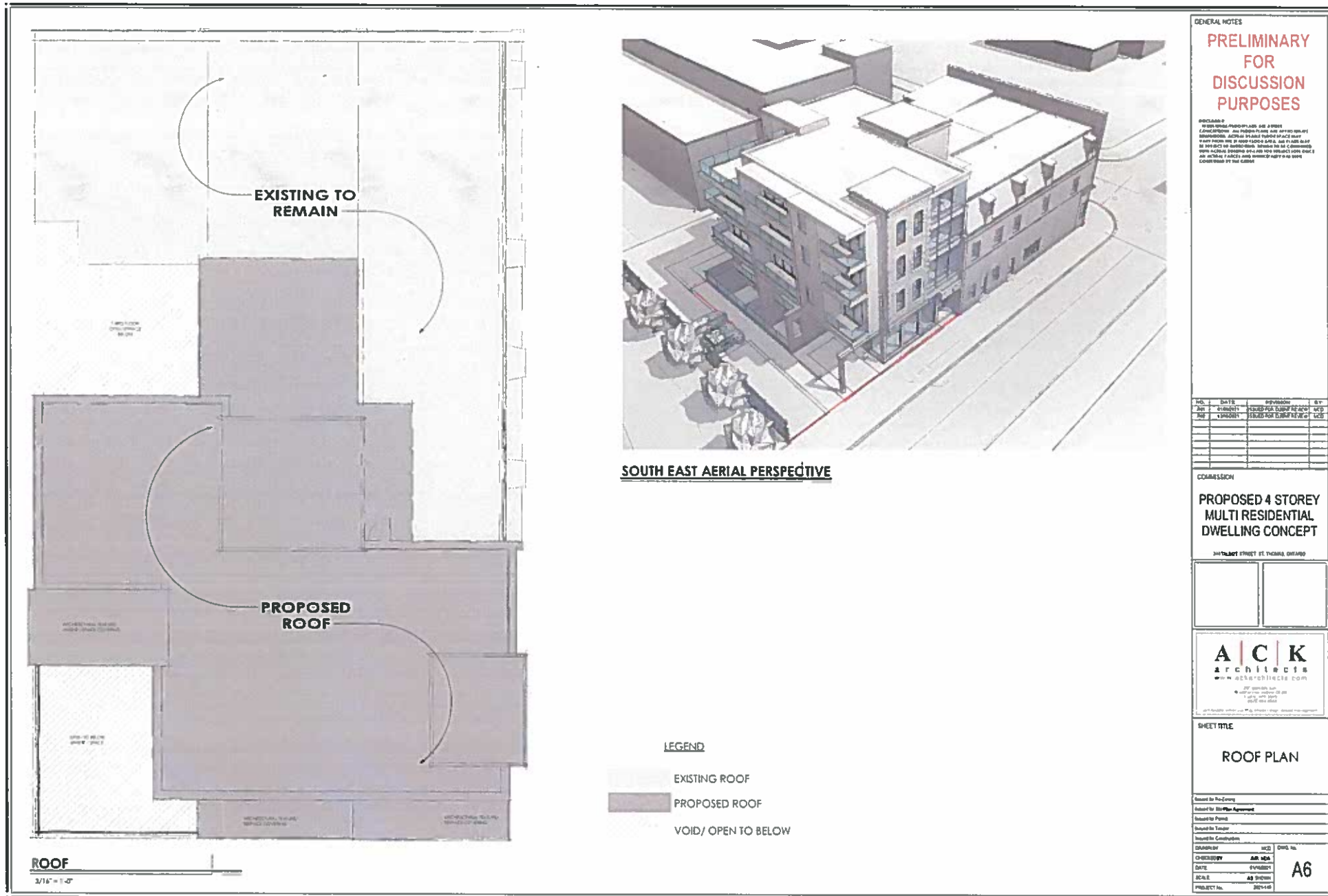


SHEET TITLE

**SECOND FLOOR
PLAN**

Checked by: No-Zemany	NO	DATE
Issued for: No-Plan Agreement	NO	DATE
Issued for: Permit	NO	DATE
Issued for: Tender	NO	DATE
Issued for: Construction	NO	DATE
Drawn by: ACK	NO	DATE
Checked by: ACK	NO	DATE
Date: 12/15/2023	NO	DATE
Scale: AS SHOWN	NO	DATE
Project No: 2023-08	NO	DATE

A3



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2	01/20/2021	ISSUED FOR EXHIBIT REVIEW	AKC

COMMISSION

PROPOSED 4 STOREY MULTI RESIDENTIAL DWELLING CONCEPT

341 TALBOT STREET ST. THOMAS, ONTARIO

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 1-877-345-2222

SHEET TITLE

ROOF PLAN

Issued for Review
 Issued for Site Plan Agreement
 Issued for Permit
 Issued for Tender
 Issued for Construction

DRAWN BY	DATE	DWG. NO.
CHENGLIANG	01/15/2021	A6
DATE	01/15/2021	
SCALE	AS SHOWN	
PROJECT No.	2021-149	



NORTH ELEVATION (TALBOT ST)

3/16" = 1'-0"



NORTH EAST PERSPECTIVE

MATERIALS LEGEND

BRICK	BRICK VENEER
	1. MATCH TO EXISTING BRICK FACADE ON 2ND FLOOR
STUCCO-1	SMOOTH STUCCO FINISH
	1. FINISH TO MATCH EXISTING STUCCO ON 2ND FLOOR
STUCCO-2	TEXTURED STUCCO FINISH
	1. FINISH TO MATCH EXISTING TEXTURED STUCCO ON 2ND FLOOR
ALUM-1	ALUMINUM FINISH
	1. MATCH TO EXISTING ALUMINUM FINISH ON 2ND FLOOR
ALUM-2	ALUMINUM FINISH
	1. MATCH TO EXISTING ALUMINUM FINISH ON 2ND FLOOR
GL	WINDOW GLASS
	1. MATCH TO EXISTING WINDOW GLASS ON 2ND FLOOR

NOTES
 1. REFER TO SECTION 05100 AND 05200 TO VERIFY MATERIALS AND FINISHES.
 2. REFER TO SECTION 05100 AND 05200 TO VERIFY MATERIALS AND FINISHES.
 3. SEE SPECIFICATIONS FOR NOTES REGARDING WINDOW AND DOOR.

GENERAL NOTES
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1	01/20/2024	ISSUED FOR DESIGN REVIEW	AM
2	01/20/2024	ISSUED FOR CLARIFICATION	AM

COMMISSION
PROPOSED 4 STOREY MULTI RESIDENTIAL DWELLING CONCEPT
 101 TALBOT STREET ST. THOMAS, ONTARIO



SHEET TITLE
NORTH ELEVATION

DESIGNED BY	AM	DATE	01/20/2024
CHECKED BY	AM	SCALE	AS SHOWN
DATE	01/20/2024	PROJECT NO.	2024-101
SCALE	AS SHOWN		

A7

MATERIALS LEGEND

BRICK - 10 MASON BRICK ON EXTERIOR FACE OF STRUCTURE

STUCCO-1 - 1/2" OF IMPERIAL STUCCO ON EXTERIOR FACE OF STRUCTURE

STUCCO-2 - 1/2" OF IMPERIAL STUCCO ON EXTERIOR FACE OF STRUCTURE

ALUM-1 - 1/4" ALUMINUM PANELS

ALUM-2 - 1/4" ALUMINUM PANELS

GL - GLASS CURTAIN WALL SYSTEM

NOTES:
 1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
 3. SEE ALL OTHER SHEETS FOR DETAILS AND FINISHES.

EAST ELEVATION

3/16" = 1'-0"

SOUTH EAST PERSPECTIVE-

NORTH EAST PERSPECTIVE.

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2	15/03/2024	ISSUED FOR CLIENT REVIEW	AC/K

COMMISSION

PROPOSED 4 STOREY MULTI RESIDENTIAL DWELLING CONCEPT

34 TALBOT STREET, ST. THOMAS, ONTARIO

A | C | K
 architects
 www.ackarchitects.com

SHEET TITLE

EAST ELEVATION

Issued for Client Review
 Issued for Site Plan Agreement
 Issued for Permit
 Issued for Tender
 Issued for Construction

Checked by	AC/K	Drawn by	AC/K
Checked by	AC/K	Drawn by	AC/K
Date	15/03/2024	Scale	AS SHOWN
Project No.	2024-148		

A9

WEST ELEVATION
3/14" = 1'-0"

NORTH WEST PERSPECTIVE

SOUTH WEST PERSPECTIVE

MATERIALS LEGEND

BRICK	AS PER SPECIFICATION
STUCCO-1	AS PER SPECIFICATION
STUCCO-2	AS PER SPECIFICATION
ALUM-1	AS PER SPECIFICATION
ALUM-2	AS PER SPECIFICATION
GL	AS PER SPECIFICATION

GENERAL NOTES

PRELIMINARY FOR DISCUSSION PURPOSES

COMMISSION

PROPOSED 4 STOREY MULTI RESIDENTIAL DWELLING CONCEPT

340 TALBOT STREET ST. THOMAS ONTARIO

A | C | K
architects
www.ackarchitects.com

SHEET TITLE

WEST ELEVATION

Drawn by: [Name]
Checked by: [Name]
Designed by: [Name]
Approved by: [Name]

Scale: AS SHOWN

Product No. [Number]

A10

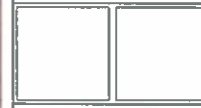


GENERAL NOTES
**PRELIMINARY
 FOR
 DISCUSSION
 PURPOSES**

DISCLAIMER: THIS PRELIMINARY CONCEPT IS FOR DISCUSSION PURPOSES ONLY. IT IS NOT A CONTRACT DOCUMENT. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY CONSEQUENCES ARISING FROM THE USE OF THIS CONCEPT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE COST OF THE SERVICES PROVIDED.

REV.	DATE	DESCRIPTION	BY
001	01/01/2024	ISSUED FOR DISCUSSION PURPOSES	AK
002	01/01/2024	ISSUED FOR DISCUSSION PURPOSES	AK

COMMISSION
**PROPOSED 4 STOREY
 MULTI RESIDENTIAL
 DWELLING CONCEPT**
 340 TALBOT STREET ST DONALD, ONTARIO



ACK
 architects
 www.ackarchitects.com
 1000 SHEPPARD AVENUE EAST
 SUITE 1000 SCARBOROUGH, ONTARIO M1S 1T6
 TEL: 416-291-1111
 FAX: 416-291-1112


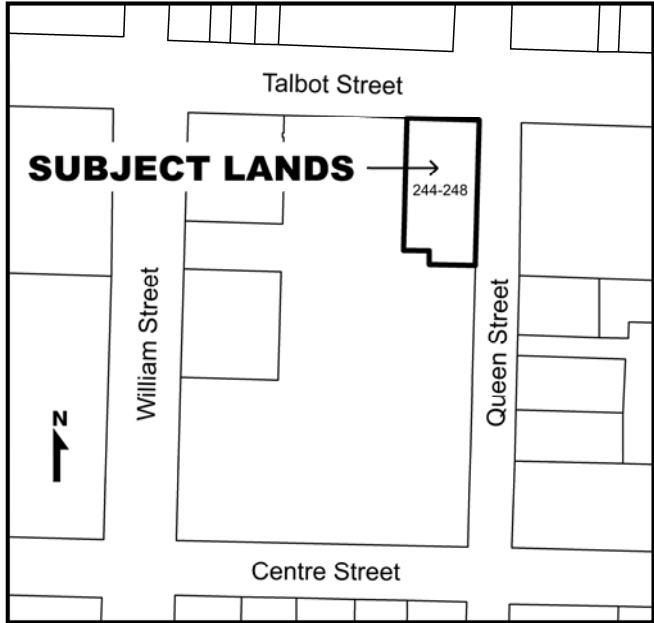
SHEET TITLE
**PERSPECTIVE DAY
 RENDERINGS**

MATERIALS LEGEND

<p>BRICK BRICK VENEER TO MATCH EXISTING BRICK ON FACADE OF BUILDING</p>	<p>STUCCO-1 WHITE STUCCO / APPROX. MATCH EXISTING TO MATCH EXISTING STUCCO ON FACADE OF BUILDING</p>	<p>STUCCO-2 WHITE STUCCO / APPROX. MATCH EXISTING TO MATCH EXISTING STUCCO ON FACADE OF BUILDING</p>	<p>ALUM-1 DARK ANODIZED ALUMINUM TO MATCH EXISTING ALUMINUM ON FACADE OF BUILDING</p>	<p>ALUM-2 DARK ANODIZED ALUMINUM TO MATCH EXISTING ALUMINUM ON FACADE OF BUILDING</p>	<p>GL CLEAR GLASS TO MATCH EXISTING GLASS ON FACADE OF BUILDING</p>	<p>L.S.D. LIGHT GREY STUCCO / APPROX. MATCH EXISTING TO MATCH EXISTING STUCCO ON FACADE OF BUILDING</p>
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NOTE:
 1. MATERIAL COLOURS SHOULD BE MATCHED TO MATCH EXISTING
 2. BRICK VENEER SHOULD MATCH EXISTING BRICK VENEER
 3. SEE ARCHITECT'S SCHEDULE FOR MORE DETAILS OF MATERIALS AND FINISHES

DESIGNED BY	AK	SHEET NO.
DRAWN BY	AK	A11
DATE	01/01/2024	
SCALE	AS SHOWN	
PROJECT NO.	2024-01	

 <p>The Corporation of the City of St. Thomas</p>	<p>Report No.: COA06-2022</p>
<p>Members of the Committee of Adjustment</p>	<p>Applicant: 2735125 Ontario Inc.</p>
<p>Location: 244-248 Talbot Street, Plan 23 Part Lot 12 S/S Talbot W/S Queen</p>	
<p>Subject: Request for a minor variance pursuant to 45(1) of the Planning Act, R.S.O, as amended</p>	
<p>Department: Planning and Building Services Department Prepared by: Steve Craig, Senior Planning Technician</p>	<p>Attachments: Location Plan and Aerial Photograph</p>
<p>Recommendation:</p> <p>That: Report COA06-2022 be received.</p>	
<p>BACKGROUND:</p> <p>The applicant is proposing to redevelop the southerly back portion of the existing one storey building with a new four storey addition, containing 17 dwelling units, as shown on the plans accompanying the subject application.</p> <p>REQUESTED VARIANCE(S):</p> <ol style="list-style-type: none"> 1) To permit a four storey addition on the south side of the existing building, whereas the DT1 zone permits a maximum height of three storeys (Subsection 4.3.6.1.2). 2) To permit a residential addition with a floor area that exceeds 147.9% of the floor area of the existing building used for residential purposes, whereas the floor area of any addition or of all additions to any building existing at the date of the passing of the by-law, which addition or additions are used for residential purposes, shall not exceed twenty-five percent (25%) of the floor area in the existing building used for residential purposes (Subsection 12.3.1). <p>CITY OF ST. THOAMS OFFICIAL PLAN:</p> <ul style="list-style-type: none"> • The subject lands are in the Talbot West designation, as shown on Schedule "A" (Land Use Plan) to the Official Plan for the City of St. Thomas. 	<p>Location Plan</p>  <p>The map shows a street grid with Talbot Street at the top, Centre Street at the bottom, William Street on the left, and Queen Street on the right. A specific lot at the intersection of Talbot Street and Queen Street is outlined in black and labeled '244-248'. An arrow points from the text 'SUBJECT LANDS' to this lot. A north arrow is located in the bottom left corner of the map area.</p>

- Within the Talbot West designation permitted uses are offices, personal service shops, existing commercial uses that directly serve the automobile, tourism/recreation and residential uses. Public utilities, institutional uses, public uses, walkways and park/parkettes are also permitted (5.3.2.3.1).
- Residential development in Talbot West is encouraged including the renovation or conversion of existing buildings for residential use and commercial and/or office uses on the ground floor level of new or existing buildings abutting Talbot Street (5.3.2.3.2).
- New buildings of more than four storeys are encouraged not to have a wall containing more than four storeys rise directly from the Talbot Street lot line, a podium effect or setback of that part of the building beyond four storeys could be used in these instances (5.3.2.3.4).
- As part of its efforts to encourage comprehensive redevelopment of underutilized lands and/or buildings in the Talbot West area, Council will support municipal and private sector efforts through streetscape/landscape and built form improvements to create a more distinctive western gateway into the Downtown (5.3.2.3.6).
- Mixed use commercial/residential development/redevelopment as well as freestanding residential infill and redevelopment projects will be encouraged in the Downtown. The redevelopment of underutilized and/or incompatible sites will be encouraged (3.4.3).
- A heritage conservation district for the downtown area of St. Thomas has been designated by City Council and is shown on Schedule "F" Heritage Conservation Districts. The Downtown St. Thomas Heritage Conservation District Plan will be used in the evaluation of planning and development applications in this area and for the purposes of the City's Property Standards By-law (4.6.11.2).

CITY OF ST. THOAMS ZONING BY-LAW 50-88:

- The subject lands are in the Downtown Talbot West Commercial Zone (C1) and Downtown Talbot Streetscape (DT1), as shown on Zoning Map 14, pursuant to the City of St. Thomas Zoning By-Law 50-88, as amended.
- Permitted uses of the C1 zone include a retail store, business office, personal service shop, restaurant, repair shop, custom workshop, recreation centre, bakery, private club, institution, clinic, uses accessory to the foregoing and residential purposes, subject to the provisions of 12.3 (12.1).
- In addition to the uses permitted any building in this zone existing at the date of the passing of the by-law or any part of any such building may be used for any residential purpose. Where a dwelling unit is erected in any such building after the date of the passing of this by-law, the floor area of any such dwelling unit shall comply with the provision of paragraph 12.3.5. The floor area of any addition or of all additions to any building existing at the date of the passing of this by-law, which addition or additions are used for residential purposes, shall not exceed twenty-five percent (25%) of the floor area in the existing building used for residential purposes (12.3.1).
- The minimum floor area of any dwelling unit erected in any building in this zone shall be as follows, bachelor 28sqm, one bedroom 42sqm, two bedrooms 56sqm and three bedrooms 70sqm (12.3.5).
- Minimum side yard depth NIL except where a side yard of a lot within this zone abuts a Residential Zone, in which case the minimum side yard depth of the yard that so abuts shall be 3m (12.5.1.1).
- Minimum rear yard depth NIL except where a rear yard of a lot within this zone abuts a Residential Zone, in which case, the minimum rear yard depth of the yard that so abuts shall be 3m (12.5.1.2).
- Maximum height 45m (12.5.1.3).

LEGISLATIVE FRAMEWORK FOR A MINOR VARIANCE:

In considering this application, the Committee must have regard to the following criteria and determine whether:

- The general intent and purpose of the Official Plan will be maintained;
- The general intent and purpose of the Zoning By-Law will be maintained;
- The variance is desirable for the appropriate development or use of the land, building or structure; and
- The variance is minor in nature.

2020 AERIAL PHOTOGRAPH



COMMENTS:

- The applicant is in the process of making some improvements to the existing three storey building, including the repair and preservation of the building facade and the renovation of the existing commercial units on the ground floor on Talbot Street and apartment dwelling units above.
- As part of the overall redevelopment of the site the applicant is proposing to replace the existing one storey addition at the back of the existing building with a four storey addition.
- The first variance is required to facilitate the construction of the proposed four storey addition, which will be setback a minimum of 15.3m from the Talbot Street lot line, creating a podium effect which is consistent with the Talbot West Official Plan polices (5.3.2.3.4).
- The second variance is required to facilitate the construction of 17 apartment dwelling units in the proposed addition, as the C1 zone regulates the residential floor area of an addition to 25% of the existing building used for residential purposes. The residential floor area regulation has been in place since approval of the City of St. Thomas Zoning By-Law 50-88 (April 18, 1988); however, the Official Plan polices for the Talbot West designation have evolved since the passing of the ZBL 50-88 and the OP policies now encourage residential development (5.3.2.3.2).
- In support of the subject application the applicant has provided a Planning Analysis and Justification, prepared by Wellings Planning Consultants Inc. and a Heritage Impact Assessment, prepared by Stantec Consulting Ltd.
- In staff's opinion the proposed overall redevelopment of the site protects and contributes to the character of the downtown Talbot West area and therefore the proposed variances meet the general intent and purpose of the Official Plan, Zoning By-law, are minor in nature, and are desirable and appropriate for the use of the lands, thereby satisfying the four tests, as set out in Section 45 of the Planning Act.
- Planning staff recommend that minor variance application COA06-2022 be approved, should the Committee of Adjustment approve the application, the decision should reflect that the Committee is approving a four storey addition, substantially as shown on the plans accompanying the application.

Respectfully submitted,



Steve Craig

Senior Planning Technician

CONFIRMATION OF AN APPLICATION FOR MINOR VARIANCE

March 2, 2022

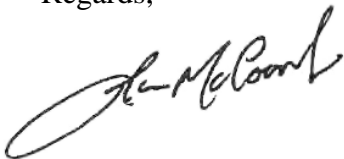
Secretary-Treasurer, Committee of Adjustment
Attention: Jon Hindley

Pursuant to By-Law 30-2015, a consultation meeting was held on January 27, 2022 with Planning staff and the applicant.

An application for a minor variance, regarding 21 Jessie Street, was filed on February 28, 2022 and the required fee under Section 69 of the Planning Act has been provided.

Please contact the Planning & Building Services Department if you have any questions.

Regards,



Jim McCoomb, MCIP, RPP
Manager of Planning Services





Clear Form

CORPORATION OF THE CITY OF ST THOMAS
COMMITTEE OF ADJUSTMENT

APPLICATION FOR MINOR VARIANCE OR FOR PERMISSION

(Section 45 of the Planning Act, R.S.O. 1990, as amended)

OFFICE USE:	Date Application Received: FEB 28 2022	Consultation Date: Jan 27/22
	Date Application Deemed Complete: March 27/22	

Application #: A07/22

APPLICATION IS HEREBY MADE TO:

City of St. Thomas
545 Talbot Street
St. Thomas ON N5P 3V7
Tel: (519) 631-1680 ext 4125 Fax: (519) 633-9019
Email: jhindley@stthomas.ca

Please note that in accordance with By-Law 30-2015, consultation with the Planning and Building Services Department must take place prior to the submission of an application. After consultation, the application will be filed with the Assistant Secretary-Treasurer, together with the sketch referred to in Note 1 and \$400 made payable to the City of St. Thomas. All information and materials submitted for the application shall be made available to the public, as indicated by Section 1.0.1 of the Planning Act, R.S.O. 1990.

Personal information contained on this form is collected under the authority of the Planning Act, R.S.O. 1990, as amended, and Ontario Regulation 200/96 and will be used for the purpose of processing this application.

- Name of Owner(s) Drawbuild Inc. (Moninder Singh-Virk)
Address 21 Jessie St., St Thomas

Postal Code N5P 1P7 Tel: 647-571-9644 e-mail: roman@drawbuildinc.com
- Name of Authorized Agent (if any) Shawn Piskovic / Dzigner Man & Associates
Address 12122 Evergreen Dr., Tecumseh, Ontario

Postal Code N8N1G9 Tel: 519-818-7024 e-mail: dzignerman@yahoo.com

Note: Please specify to whom all communications should be sent: Owner Agent

- Nature and extent of relief from the Zoning By-law applied for:
4.2.4.7 No accessory building shall be used for human habitation,
to convert the existing garage (detached) into an detached ADU, as per plans attached.
- Reason why the proposed use cannot comply with the provisions of the Zoning By-law:
Current bi-law states ADU are only applicable to SFD, semi, semi detach, or townhouse where this property is an existing
post converted triplex.
- Location of Land:
Concession No. 170 Lot(s) 11 Registered Plan No. RP11R1884 Lot(s) 11
Reference Plan No. RP11R1884 Part(s) 12

Geographic/Former Township St. Thomas, Ontario

Name of Street Jessie St. Street No. 21

6. Dimensions of land affected:

Frontage 60' / 18.3 M Depth 234' / 71.3 M

Area 14045.6 SF / 1,305 Sq/M Width of Street 24' / 7.32 M

7. Access to the subject land is by:

- a Regional Road
- a Municipal road that is maintained all year
- a Municipal road that is maintained seasonally
- a private road

8. Particulars of all buildings and structures on or proposed for the subject land (Specify ground floor area, gross floor area, number of storeys, width, length, height). Please specify use of existing structures.

Existing:

Legalized triplex + non conforming detached garage conversion, (exist. acc struc.)

USE Triplex w/ additional detached dwelling unit (Unit #4) Proposed / permitted

Proposed:

Legal triplex + conforming residential - converted garage detached ADU, (as per plans attached)

9. Location of all buildings and structures on or proposed for the subject land (Specify distance from side, rear and front lot lines). Please specify use of proposed structure.

Existing:

Dwelling (triplex) & acc struc. to be located as per site plan attached.

Proposed:

Existing triplex & detached garage

USE

10. Date of acquisition of subject land: August 4th, 2021

11. Date of construction of all buildings and structures on subject land: 1967 (detached garage / acc. struc.)

1890 (existing triplex / dwelling)

12. Existing uses of the subject land:

Residential - Multi

13. Existing uses of abutting lands:

North: Res. East: Res.
 South: Res. West: Res.

14. Length of time the existing uses of the subject land have continued:

Since inception, (1890 & 1987)

15. Services available (check appropriate space or spaces):

Water:

Municipally owned and operated piped water system Other (Specify) _____

Sewage Disposal:

Municipally owned and operated sanitary sewer system Other (Specify) _____

Storm Drainage

Storm sewers Other (Specify) _____

16. Present Official Plan designation of the subject land:

Residential existing

17. Present Zoning of the subject land:

R4

18. Has the owner previously applied for relief (minor variance) under Section 45 of the Act in respect of the subject property?

yes no

If the answer is yes, describe briefly (and if known, quote Application #)

19. Is the subject property the subject of a current application for a consent under Section 53 or a plan of subdivision under Section 51 of the Planning Act, 1990?

yes no If so, state Application # and status _____

APPLICANT DECLARATION

By making this application, permission is hereby granted to any Municipal staff members and Municipal Planning Consultant to enter upon the premises described in this application at a reasonable time for the purpose of inspecting the property in relation to the proposed application and for distributing information concerning the same. This information is being collected pursuant to the Planning Act, Municipal Act, and Freedom of Information Act. The information contained herein will be distributed to bodies and agencies prescribed by legislation and regulation and also to interested parties.

If this application is signed by an agent or solicitor on behalf of an applicant, the owner's written authorization must accompany the application (Appendix A). If the applicant is a corporation acting without an agent or solicitor, the application must be signed by an officer of the corporation and the corporation's seal (if any) must be affixed.

MUNICIPAL FREEDOM OF INFORMATION AND PROTECTION OF PRIVACY ACT

Application information is collected under the authority of the Planning Act, R.S.O. 1990, c.P.13. In accordance with that Act, it is the policy of the City of St. Thomas to provide public access to all Planning Act applications and supporting documentation submitted to the City.

I, Drawbuild Inc. (Moninder Singh-Virk), the Owner or Authorized Agent, hereby agree and acknowledge
(Print name of Owner or Authorized Agent)

that the information contained in this application and any documentation, including reports, studies and drawings, provided in support of the application, by myself, my agents, consultants and solicitors, constitutes public information and will become part of the public record. As such, and in accordance with the provisions of the *Municipal Freedom of Information and Protection of Privacy Act*, R.S.O. 1990, c.M. 56, I hereby consent to the City of St. Thomas making this application and its supporting documentation available to the general public, including copying and disclosing the application and its supporting documentation to any third party upon their request.

Collection of Personal Information:

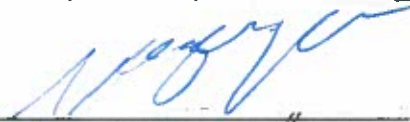
Personal information on this form is collected under the authority of Section 41 of the *Planning Act*, R.S.O. 1990 and Sections 8 (1) and 10 of the *Municipal Act*, 2001, as amended, and will be used to contact the owner, applicant and/or agent regarding the Committee of Adjustment Application. Questions about this collection should be directed to the City Clerk, 545 Talbot Street, St. Thomas, Ontario, N5P 2T9 (519) 631-1680.

AFFIDAVIT OR SWORN DECLARATION

I, Drawbuild Inc. (Moninder Singh-Virk) of London in the province of ON,
name of applicant City

make oath and say (or solemnly declare) that the information required under Schedule 1 of Ontario Regulation 545/06 and provided by the applicant in this application is accurate, and that the information contained in the documents that accompany this application is accurate.

Sworn (or declared) before me at the London St. Thomas on this 10 day of February, 2022.
City Day Month Year



Signature of Owner or Authorized Agent

28-Feb-2022

Date



Signature of Commissioner of Oaths, etc.

Feb 28 / 22

Date

APPENDIX A – AUTHORIZATION OF OWNER

If the applicant is not the owner of the subject lands, please complete the owner authorization concerning personal information as set out below.

I, Moninder Singh Virk, am the owner of the subject lands, and I authorize Shamir Kalwal, to act on our behalf as the agent for the submissions required for all matters relating to the subject lands, and to provide any of my personal information that will be included in this application or collected during the planning process.

28-Feb-2022
Date

[Signature]
Signature of Owner

APPENDIX B – ACKNOWLEDGEMENT OF LEGAL AND PLANNING FEES

In addition to the application fees listed in this application package, please note that where the City requires assistance from its solicitors or other technical or professional consultants in the processing of this application, the applicant shall be responsible for reimbursing all fees incurred by the City.

***Please note, Appendix B must be completed by the owner, not the authorized agent.**

I, Drawbuild Inc. (Moninder Singh-Virk), am the **owner** of the subject lands, and I understand that further fees may be incurred by the City throughout the planning process and that I am responsible for reimbursing all fees.

02/08/2022
Date

Moninder Singh-Virk
Signature of Owner

NOTES:

1. Each copy of this application must be accompanied by a Sketch. The Sketch need not necessarily be to scale, but dimensions must be accurate, and showing the following:
 - (a) The boundaries and dimensions of the subject land;
 - (b) The location, size and type of all existing and proposed buildings and structures on the subject land, indicating the distance of the buildings or structures from the front yard lot line, rear yard lot line and the side yard lot lines;
 - (c) The approximate location of all natural and artificial features on the subject land and on land that is adjacent to the subject land that, in the opinion of the applicant, may affect the application. Examples include buildings, driveways, swimming pools, roads, railways, drainage ditches, wells, septic tank and tile bed, and trees;
 - (d) The current uses on land that is adjacent to the subject land;
 - (e) The location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public traveled road, a private road or a right-of-way;
 - (f) If access to the subject land is by water only, the location of the parking and docking facilities to be used;
 - (g) The location and nature of any restrictive covenant or easement affecting the subject land;
2. The Committee of Adjustment may require that a preliminary drawing be prepared, signed and dated by an Ontario Land Surveyor.
3. If this application is signed by an agent or solicitor on behalf of an applicant, the owner's written authorization must accompany the application. If the applicant is a corporation acting without agent or solicitor, the application must be signed by an officer of the corporation and the corporation's seal (if any) must be affixed.


GENERAL NOTES

- 1- THESE DRAWINGS ARE TO BE USED IN CONJUNCTION WITH SHOP DRAWINGS FOR FLOOR AND ROOF MANUFACTURER (IF REQUIRED)
- 2- CONTRACTOR TO FULLY REVIEW PLANS IN FULL AND UNDERSTAND ALL DETAILS PRIOR TO CONSTRUCTION.
- 3- ALL ELECTRICAL TO CONFORM TO OBC SECTION 9.34
- 4- ALL HVAC, PLUMBING & ELECTRICAL TO BE COORDINATED BETWEEN CONTRACTOR AND TRADES PERSONS INVOLVED. (DUCT & PENETRATIONS)
- 5- CONFIRM WINDOW SIZE / MANUFACTURING, CEILING TREATMENTS, & BULKHEADS SIZE BY REFERRING TO HVAC DESIGN PRIOR TO CONSTRUCTION.

Attached Garages	Wood Framing	Masonry Veneer Walls						
<p>The construction between a garage and the dwelling to which it is attached or built in, shall provide an effective barrier to gas and exhaust fumes, such as that provided by gypsum board which is taped and sealed throughout. This includes exterior walls of a garage under the floor of a habitable room.</p> <p>Door between a garage and a dwelling shall be tight fitting and weatherstripped so as to provide an effective barrier to gas and exhaust fumes and shall be fitted with a self closing device.</p> <p>Such doors shall not be located in a room intended for sleeping and shall not be located where a single clear parking space 2.7m x 5.7m (8'-11" x 18'-9") would be encroached upon by steps required for access to the dwelling.</p> <p>Dwelling floor to be a minimum 6" higher than garage level.</p>	<p>Wood frame construction to comply with O.B.C. section 9.23</p> <p>All framing lumber shall be No.2 spruce unless otherwise specified on drawings.</p> <p>Sill plates that provide bearing for the floor system shall have a minimum size of 38mm x 89mm (2"x4")</p> <p>Sill plates shall be anchored to the foundation wall with anchor bolts that have a minimum diameter of 12.7mm (1/2") and spaced a maximum of 2.4m (7'-10") o.c. These anchor bolts shall be provided with nuts and washers and shall be embedded a minimum of 100mm (4") in the foundation.</p> <p>Beams shall have even end level bearing with a minimum length of bearing of 89mm (3-1/2") at end supports.</p>	<p>Masonry veneer resting on a bearing support shall be of solid units with a minimum thickness of 70mm (2-3/4") to a maximum height of 11m (36'-1")</p> <p>An air space with a minimum thickness of 25mm (1"), shall be provided between masonry veneer and wall sheathing.</p> <p>Masonry veneer shall be tied to wood framing members with corrosion resistant straps, with a minimum thickness of 0.78mm (0.03") and a minimum width of 22mm (7/8"). Straps shall be spaced at 800mm (23-5/8") o.c. vertically and 400mm (15-3/4") o.c. horizontally and shall be nailed to the wood studs through the wall sheathing.</p> <p>Masonry veneer resting on a bearing support shall not protect more than 25mm (1") where the veneer is at least 90mm (3-1/2") thick and 12mm (1/2") where the veneer is less than 90mm (3-1/2") thick</p> <p>Weep holes shall be provided above all openings at roof/wall intersections and at the bottom of masonry masonry veneer walls. These holes shall be 10mm (3/8") and shall have a minimum spacing of 800mm (2'-7") o.c.</p> <p>Weep holes at the bottom of masonry walls shall be provided with flashing that extends from a point a minimum of 5mm (3/16") beyond the outer face of the supporting wall to a point a minimum of 150mm (5-7/8") up behind the sheathing paper. If such flashing is flexible, it shall be provided with continuous support.</p>						
<p>Stairs & Balconies</p> <p>Stairs shall have a maximum rise of 200mm (7-7/8"), a minimum run of 210mm (8-1/4"), a minimum tread width of 235mm (9-1/4"). A minimum width between well faces of 860mm (2'-10") and minimum headroom as measured vertically from a line drawn through the outer edges of the nosings of 195mm (8'-5")</p> <p>Exterior stairs shall have a minimum width between well faces or guards of 900mm (2'-11")</p> <p>Curved stairs shall have a minimum run of 150mm (5-7/8") and a minimum average run of 200mm (7-7/8")</p> <p>Handrails shall be provided on at least one side of stairs less than 1.1m (3'-7") wide and on both sides of stairs greater than 1.1m (3'-7") wide.</p> <p>Handrails shall not be less than 800mm (2'-10") and not more than 920mm (3'-2") high, as measured vertically from a line drawn through the outer edges of nosings.</p> <p>Guards shall be provided wherever the elevation between adjacent levels is greater than 600mm (23-5/8") and shall be not less than 1.07m (3'-6") high.</p> <p>Openings through a guard shall be of a size so as to prevent passage of a spherical object having a diameter of 100mm (4").</p> <p>Guards shall be designed so that any members, attachments or openings between 100mm (4") and 900mm (2'-11") above floor level will not facilitate climbing.</p> <p>Exterior concrete stairs with more than two risers and two treads shall be supported by a foundation wall.</p> <p>Exterior wood stairs shall not be in direct contact with the ground unless treated to prevent decay</p>	<p>All floor joists, ceiling joists, roof joists and rafters shall have a minimum end bearing length of 38mm (1-1/2")</p> <p>Floor joists framed into the side of wood beams, header joists and trimmer joists shall be supported by joist hangers or other acceptable connectors.</p> <p>Cross bridging shall be provided for floor joists that are within 480mm (1'-6") of the maximum permitted span. Spaced not more than 2.1m (6'-11") o.c. continuous wood strapping not less than 19mm x 84mm (1"x3") together with cross bridging shall be provided where a ceiling finish is not applied. A glued and nailed subfloor may be applied in lieu of cross bridging.</p> <p>Non loadbearing walls that are parallel to floor joists shall be supported by joists or on blocking between the joists. This blocking shall be not less than 38mm x 89mm (2"x4"), spaced not more than 1.2m (3'-11") o.c.</p> <p>Load bearing interior walls parallel to floor joists shall be supported by beams or by walls of sufficient strength to safely transfer the loads to vertical supports.</p> <p>Load bearing interior walls perpendicular to floor joists shall be located a maximum of 900mm (2'-11") from the joists support when the wall does not support a floor and a maximum of 600mm (23-5/8") from the joists support when the wall supports one or more floors.</p> <p>Wood studs for interior walls supporting not more than one floor shall be not less than 38mm x 89mm (2"x4"). Spaced not more than 400mm (16") o.c.</p> <p>Wood studs for ground floor exterior walls supporting not more than two floors shall be not less than 38mm x 89mm (2"x4") spaced not more than 300mm (12") o.c.</p> <p>Wall studs shall be tripled in the corners of loadbearing walls.</p> <p>Wall studs shall be doubled on each side of openings so that the inner studs extend from the lintel to the bottom wall plate and the outer studs extend from the top wall plate to the bottom wall plate</p> <p>Wall plates shall be not less than 38mm (1-1/2") thick and shall be the same width as the wall studs. No fewer than two top plates shall be provided in loadbearing walls.</p>	<p>Insulation, Air & Vapour Barriers</p> <p>Thermally insulated wall, ceiling and floor assemblies shall be provided with a continuous barrier to air leakage and water vapour diffusion from the interior of the building into wall, floor, attic and roof spaces.</p> <p>Concrete slabs on ground shall be insulated, to a minimum thermal resistance of R-8, to not less than 800mm (23-5/8") below exterior ground level.</p> <p>All exterior doors and doors providing access from garages to dwelling units where a storm door is not provided, shall have a thermal resistance of R-4, exclusive of glazed portions.</p> <p>The upper part of foundation walls enclosing heated space shall be insulated to a minimum thermal resistance of R-20 from the underside of the subfloor to the finished floor level of the basement, and shall be protected from moisture by a moisture barrier, be inherently impermeable to moisture or if such insulation is of the felt type, it shall be protected from moisture by a moisture barrier and a vapour barrier</p> <p>Air barriers consisting of flexible material shall be installed so that joints are either sealed, or lapped at least 100mm (4") and clamped between framing members, furring or blocking and rigid panels.</p> <p>Penetrations of the air barrier, such as those required for the installation of wiring, electrical boxes, piping or ductwork, shall be sealed to maintain the integrity of the air barrier over the entire surface.</p> <p>Ductwork in unheated spaces shall have all joints taped or be otherwise sealed to ensure that the ducts are airtight for their entire length.</p> <p>Clearances between chimneys or gas vents and the surrounding construction, which would permit air leakage from within the building into a warm attic or roof space, shall be sealed by non combustible material to prevent air leakage.</p> <p>Masonry walls of hollow units, which penetrate the ceiling, shall be capped with masonry units without voids or be sealed with flashing extending across the full width of the masonry.</p> <p>Foamed insulation must be protected on interior surfaces by gypsum board or equivalent non-combustible material.</p> <p>Fire Separation</p> <p>Beams and joists which are framed into a masonry or concrete fire separation shall not reduce the thickness of that fire separation to less than 100mm (4") of masonry or concrete.</p> <p>Spaces between fire separations and exterior walls and between fire separations and roof decks shall be tightly sealed by caulking with mineral wool or non-combustible material.</p> <p>Foamed plastics which form part of a wall or ceiling assembly shall be protected from adjacent habitable spaces by gypsum board or equivalent non-combustible material.</p>						
<p>Natural & Mechanical Ventilation</p> <p>All roof and attic space above an insulated ceiling shall be ventilated with openings to the exterior providing an unobstructed vent area of not less than 1/300 of the insulated ceiling area. These vents shall be evenly distributed on opposite sides of the building and shall be designed to prevent entry of rain, snow and insects.</p> <p>Where a roof does not incorporate an attic space, a minimum clearance of 75mm (3") shall be maintained between the top of the insulation and the underside of the roof sheathing for the entire length of the roof joist, and the vents shall be located so that approximately 50% of the required vent area is near the lower part of the roof and approximately 50% is near the ridge.</p> <p>Ceiling insulation shall be installed in a manner which will not restrict a free flow of air through roof vents or through any portion of the roof or attic space.</p> <p>Rooms in dwelling units ventilated by natural means shall have minimum unobstructed openable ventilation areas as follows:</p> <table border="1"> <tr> <td>Bathrooms</td> <td>0.09 m² (0.97 s.f.)</td> </tr> <tr> <td>Unfinished basements</td> <td>0.20% of floor area</td> </tr> <tr> <td>All other rooms</td> <td>0.28 m² (3.00 s.f.)</td> </tr> </table> <p>Mechanical ventilation exhaust ducts shall discharge directly to the outdoors. Where such ducts pass through or are adjacent to unheated spaces, they shall be insulated to not less than R-3</p>	Bathrooms	0.09 m ² (0.97 s.f.)	Unfinished basements	0.20% of floor area	All other rooms	0.28 m ² (3.00 s.f.)	<p>Where OSB or waterboard, plywood and / or floor sheathing supports ceramic tiles, it shall be reinforced in accordance with O.B.C. section 9.30.5 The proposed change requires roof rafter, roof truss or roof joist to be tied to the wall framing with engineered connectors to resist higher uplift loads.</p> <p>Solid blocking shall be provided under all concentrated loads.</p> <p>Provide two layers of 16mm (5/8") subfloor under ceramic tiles.</p> <p>Smoke Alarms</p> <p>Except as required in sentence (2), smoke alarms shall be provided on each floor level near the stairs connecting floor levels, including basements.</p> <p>On floor levels containing bedrooms or sleeping areas, the required smoke alarms shall be installed in each of the bedrooms or sleeping areas and the remainder of the floor area, such as a hallway or corridor serving such rooms or areas. In each hallway.</p> <p>Smoke alarms shall be installed by permanent connections to an electrical circuit and shall have no disconnect switch between the overcurrent device and the smoke alarm. Battery backup req'd. All smoke alarms are to be powered for a min. 7 days of normal pattern with 4 minutes of sound. Where more than one smoke alarm is required in a dwelling unit, the smoke alarms shall be wired so that the activation of one alarm will cause all alarms within the dwelling unit to sound.</p>	<p>Insulation, Air & Vapour Barriers</p> <p>Thermally insulated wall, ceiling and floor assemblies shall be provided with a continuous barrier to air leakage and water vapour diffusion from the interior of the building into wall, floor, attic and roof spaces.</p> <p>Concrete slabs on ground shall be insulated, to a minimum thermal resistance of R-8, to not less than 800mm (23-5/8") below exterior ground level.</p> <p>All exterior doors and doors providing access from garages to dwelling units where a storm door is not provided, shall have a thermal resistance of R-4, exclusive of glazed portions.</p> <p>The upper part of foundation walls enclosing heated space shall be insulated to a minimum thermal resistance of R-20 from the underside of the subfloor to the finished floor level of the basement, and shall be protected from moisture by a moisture barrier, be inherently impermeable to moisture or if such insulation is of the felt type, it shall be protected from moisture by a moisture barrier and a vapour barrier</p> <p>Air barriers consisting of flexible material shall be installed so that joints are either sealed, or lapped at least 100mm (4") and clamped between framing members, furring or blocking and rigid panels.</p> <p>Penetrations of the air barrier, such as those required for the installation of wiring, electrical boxes, piping or ductwork, shall be sealed to maintain the integrity of the air barrier over the entire surface.</p> <p>Ductwork in unheated spaces shall have all joints taped or be otherwise sealed to ensure that the ducts are airtight for their entire length.</p> <p>Clearances between chimneys or gas vents and the surrounding construction, which would permit air leakage from within the building into a warm attic or roof space, shall be sealed by non combustible material to prevent air leakage.</p> <p>Masonry walls of hollow units, which penetrate the ceiling, shall be capped with masonry units without voids or be sealed with flashing extending across the full width of the masonry.</p> <p>Foamed insulation must be protected on interior surfaces by gypsum board or equivalent non-combustible material.</p> <p>Fire Separation</p> <p>Beams and joists which are framed into a masonry or concrete fire separation shall not reduce the thickness of that fire separation to less than 100mm (4") of masonry or concrete.</p> <p>Spaces between fire separations and exterior walls and between fire separations and roof decks shall be tightly sealed by caulking with mineral wool or non-combustible material.</p> <p>Foamed plastics which form part of a wall or ceiling assembly shall be protected from adjacent habitable spaces by gypsum board or equivalent non-combustible material.</p>
Bathrooms	0.09 m ² (0.97 s.f.)							
Unfinished basements	0.20% of floor area							
All other rooms	0.28 m ² (3.00 s.f.)							

ENGINEER STAMP

Design Firm



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Toronto, Ontario M3H 1C9

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Email: ddg@designer-man.com

Welcome
www.DDdesigner-man.com

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Revision	Date	By
1	01/31/22	SP

The undersigned has verified and takes responsibility for the design, with the professional seal and stamp, and certifies that the design complies with the applicable building code and regulations.

DDesigner Man & Associates
Professional Engineer
Ontario License No. 12345
Professional Seal No. 12345
Professional Stamp No. 12345

Issued For
Pierluigi Orsanges
New Building Project

P.O. #
2204

Norman Singh Vlm
21 Jasper St.
St. Thomas, Ontario
N5P 1P7

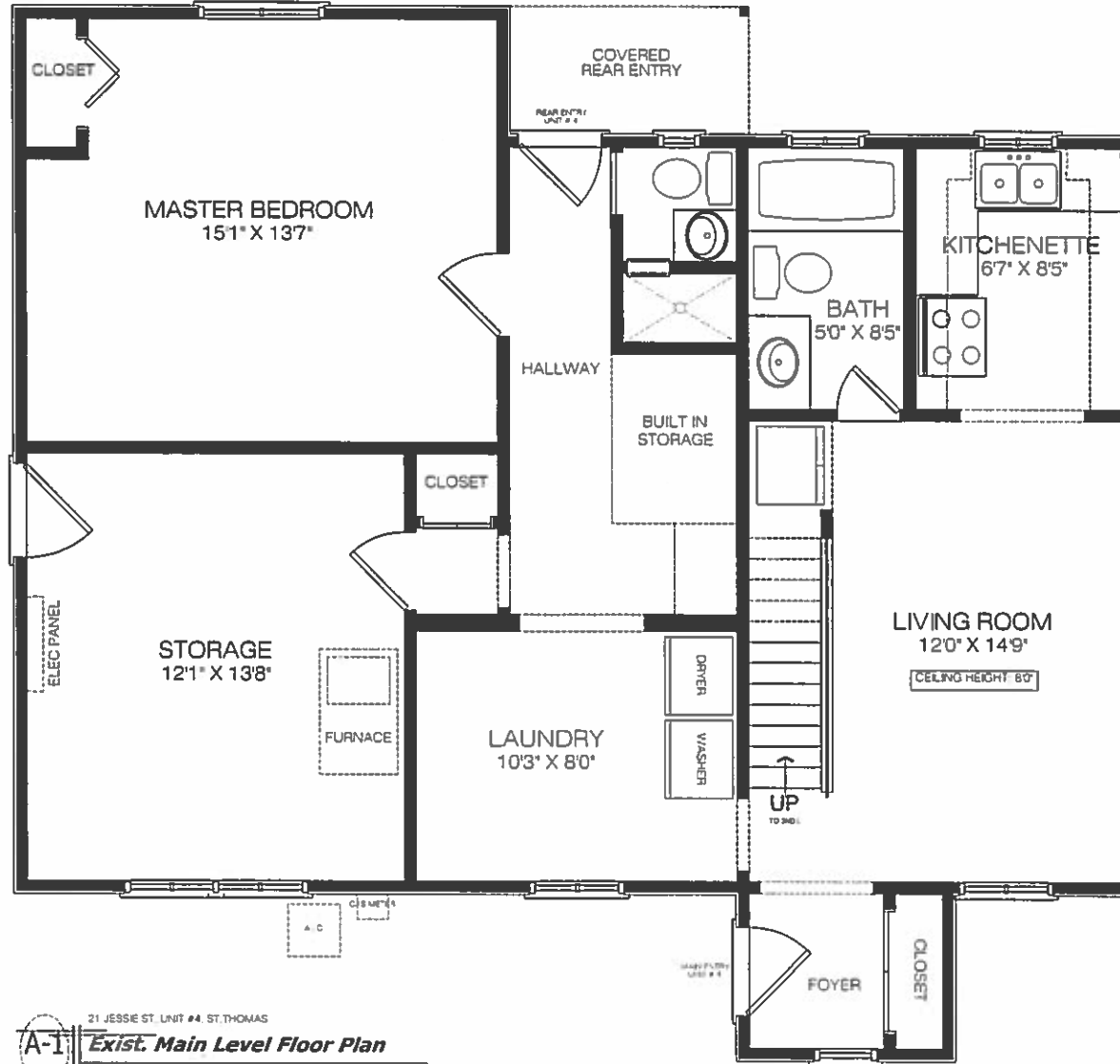
Final Bquire Package
1,007 \$P

Drawing Type
Detached ADU (Acc. Struc.)

Designed By
Shawn P.
Lead BCIA Designer

Scale NTS
Drawing ID
Date 01/31/22
Province Ontario

02



21 JESSIE ST. UNIT #4, ST. THOMAS
A-1 **Exist. Main Level Floor Plan**
 TOTAL INT. FLOOR SPACE: 950 SF
 TOTAL COVERAGE: 1,007 SF
 PRESENTATION PLAN

ENGINEER STAMP

Design Firm

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 Tecumseh, Ontario, N8B 1 G8

CONTACT
 Dan / Tess 519-816-7324
 Email: dazigmund@shaw.com

Website
 www.DJZigmund.com

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Revisions	Date	By
1	01-31-22	SP

The undersigned has prepared and/or supervised the preparation of the drawings and specifications and certifies that the same conform to the Ontario Building Code Act and Regulations and to the Ontario Building Code Act and Regulations.

Professional Engineer
 Ontario Professional Engineers Act, R.S.O. 1990, Chapter O.1, Section 240(1)
 License No. 12345
 01/31/22

Issued For
 Permit Drawings
 Item # 3 Home Drive

P.O. # 2204

Project Name
 Roman Singh Ven
 21 Jessie St.
 St. Thomas, Ontario
 N5P 1P7

Final Square Footage
 1,007 SF

Drawing Type
 Detached ADU (Acc. Struct.)

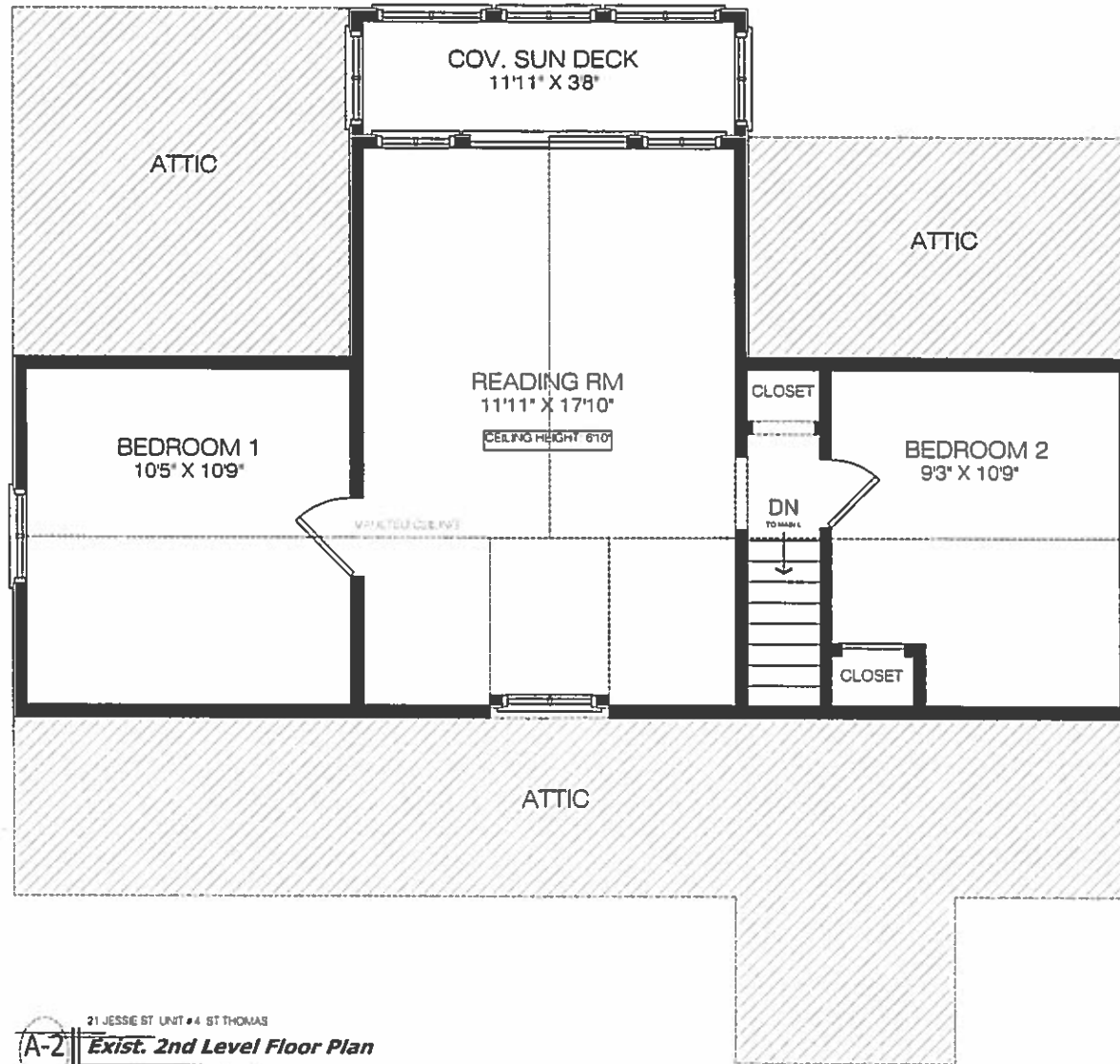
Designed By
 Shawn P.
 Lead BCN Designer

Scale 1/4" = 1' Drawing ID.
 Date 01/31/22

Province Ontario

04

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21 JESSE ST UNIT #4 ST THOMAS
A-2 **Exist. 2nd Level Floor Plan**
 TOTAL INT. FLOOR SPACE 500 SF PRESENTATION PLAN

DDesign Men & Associates Assumes No Liability For Any Changes Or Modifications Made To These Plans By Others

ENGINEER STAMP

DESIGN FIRM



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 Email: ddesignmen@yahoo.com

Website
 www.dddesignmen.com

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Revisions	Date	By
1	01-03-2022	SP

The information on this plan and that incorporated by reference is for informational purposes only and does not constitute a contract. The client is responsible for providing all necessary information and for obtaining all required permits. The engineer's liability is limited to the professional services provided.

DDesign Men & Associates
 12122 Evergreen Cr
 Tecumseh, Ontario, N5B 1G8
 Dan / 519-816-7034
 ddesignmen@yahoo.com

Issued For
 Permit Drawing
 Lot 4 St. Thomas, Ontario

P.O. # 2204

Owner: Roman Singh / Mr
 21 Jesse St
 St Thomas, Ontario
 N5B 1P7

Final Square Footage
 1,007 SF

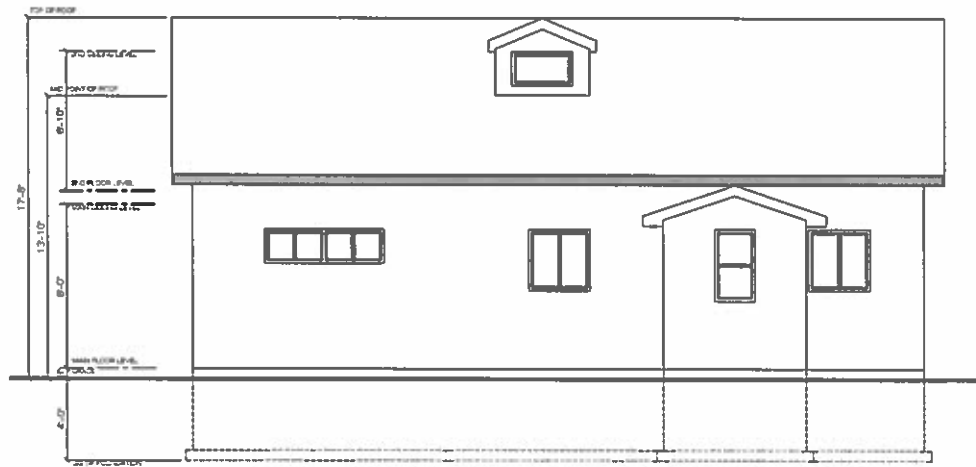
Drawing Type
 Detached ADU (Acc. Struct.)

Designed By:
 Shawn P.
 Lead BC24 Designer

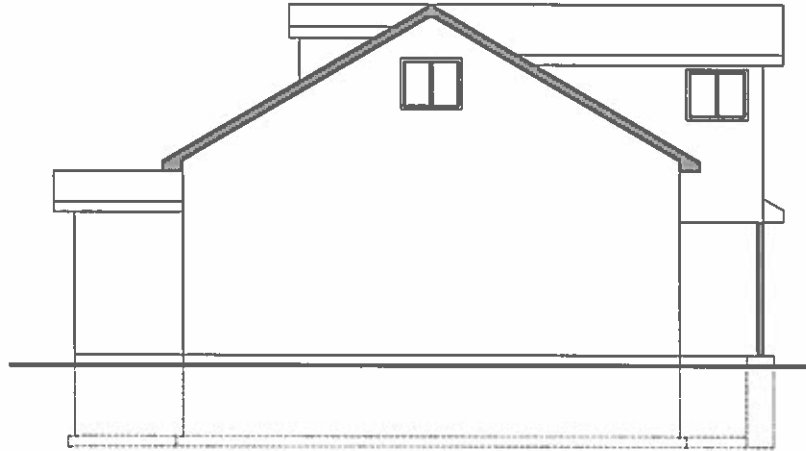
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 Date: 01/31/22

Province: Ontario

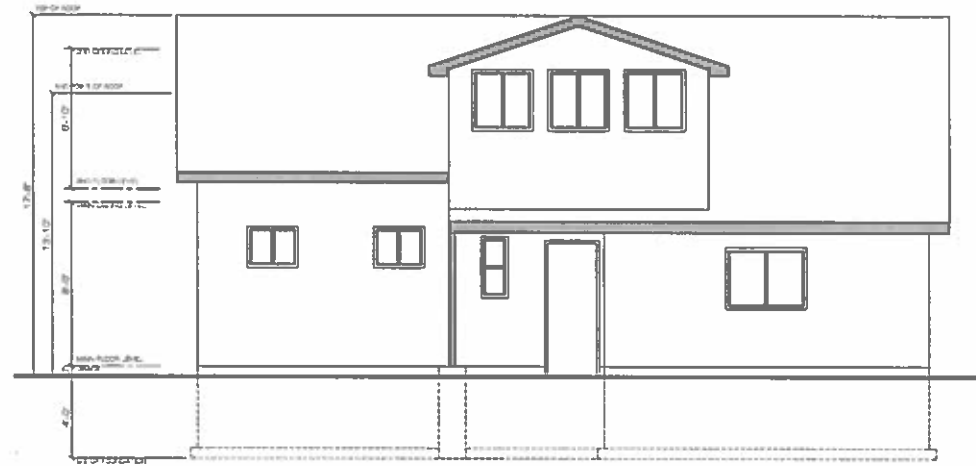
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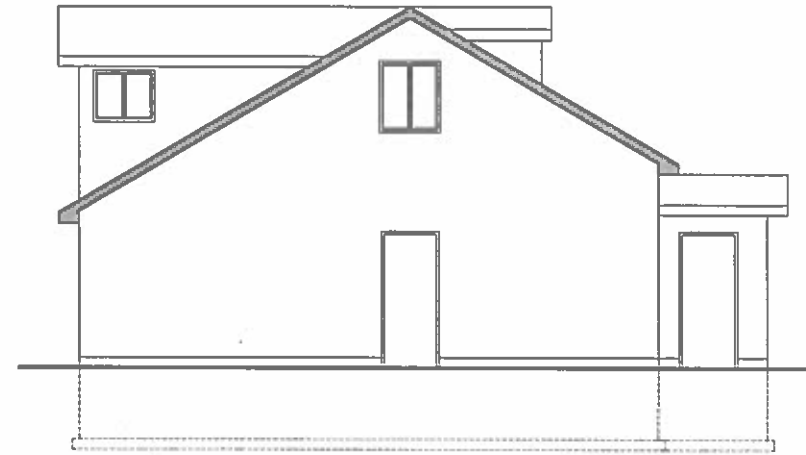
E-1 Front Elevation



E-2 Right Side Elevation



E-3 Rear Elevation



E-4 Left Side Elevation

DESIGNER STAMP

Design Firm

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Website
www.dzgroupinc.com

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Project No.	Date	Drawn
1	01/21/22	SP

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Scale: Not to Scale

Author: Shawn P. Roman

Approval: Shawn P. Roman

ISSUED FOR

Permit Drawings
Year: 2022

P.O. # 2204

Roman Singh V/v
21 James St.
St. Thomas, Ontario
N5P 1P7

Total Square Footage
1,007 SF

Drawing Type
Detached ACU (Acc. Serv.)

Designed By
Shawn P.
Lead BCN Designer

Scale: NTS

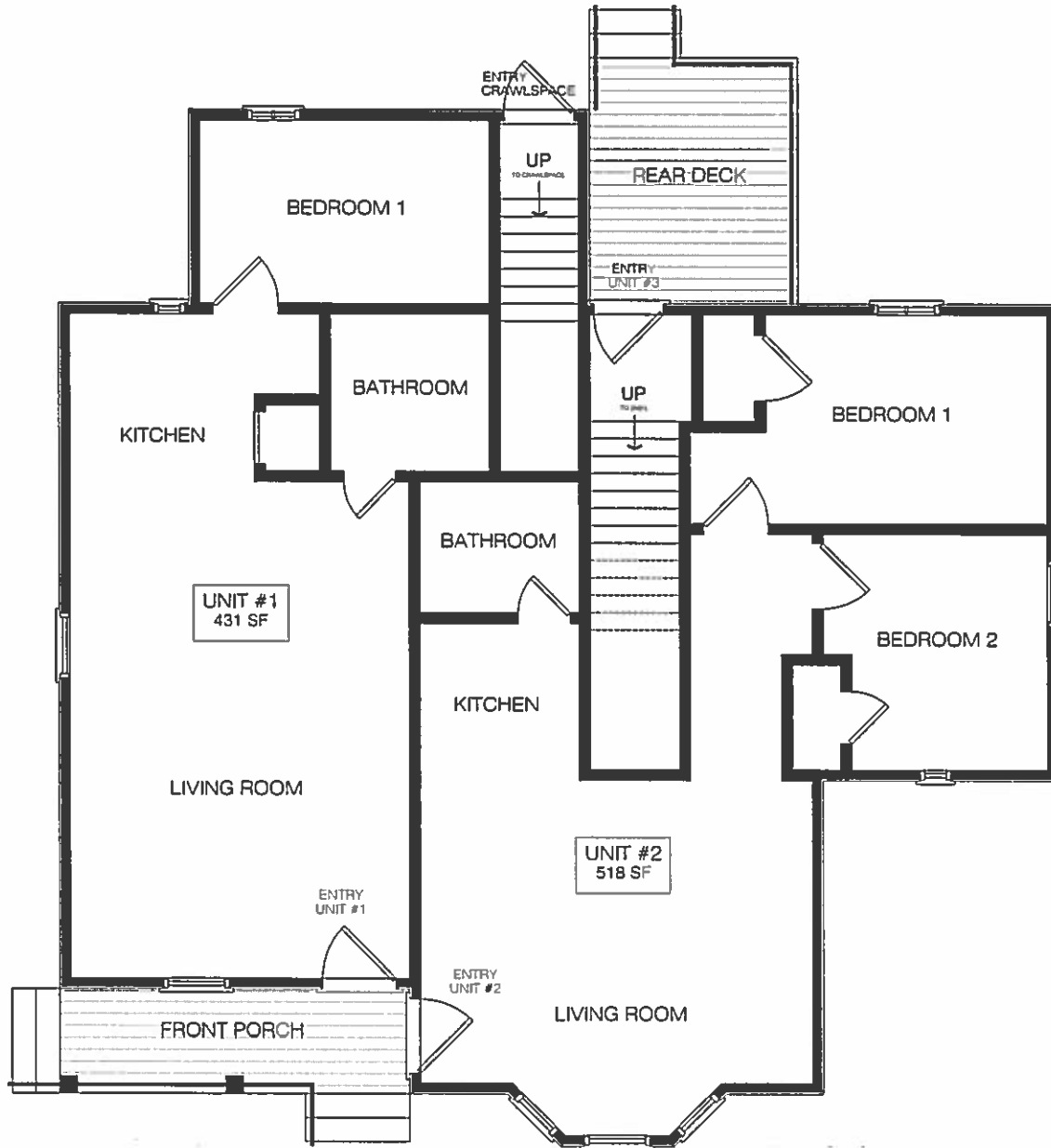
Date: 01/21/22

Province: Ontario

Drawing I.D.
06

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172



21 JESSIE ST UNIT #1 2 & 3 ST THOMAS
A-3 **Exist. Main Level Floor Plan**
 TOTAL INT. FLOORSPACE 1,007 SF
 TOTAL COVERAGE 1,178 SF

ENGINEER STAMP



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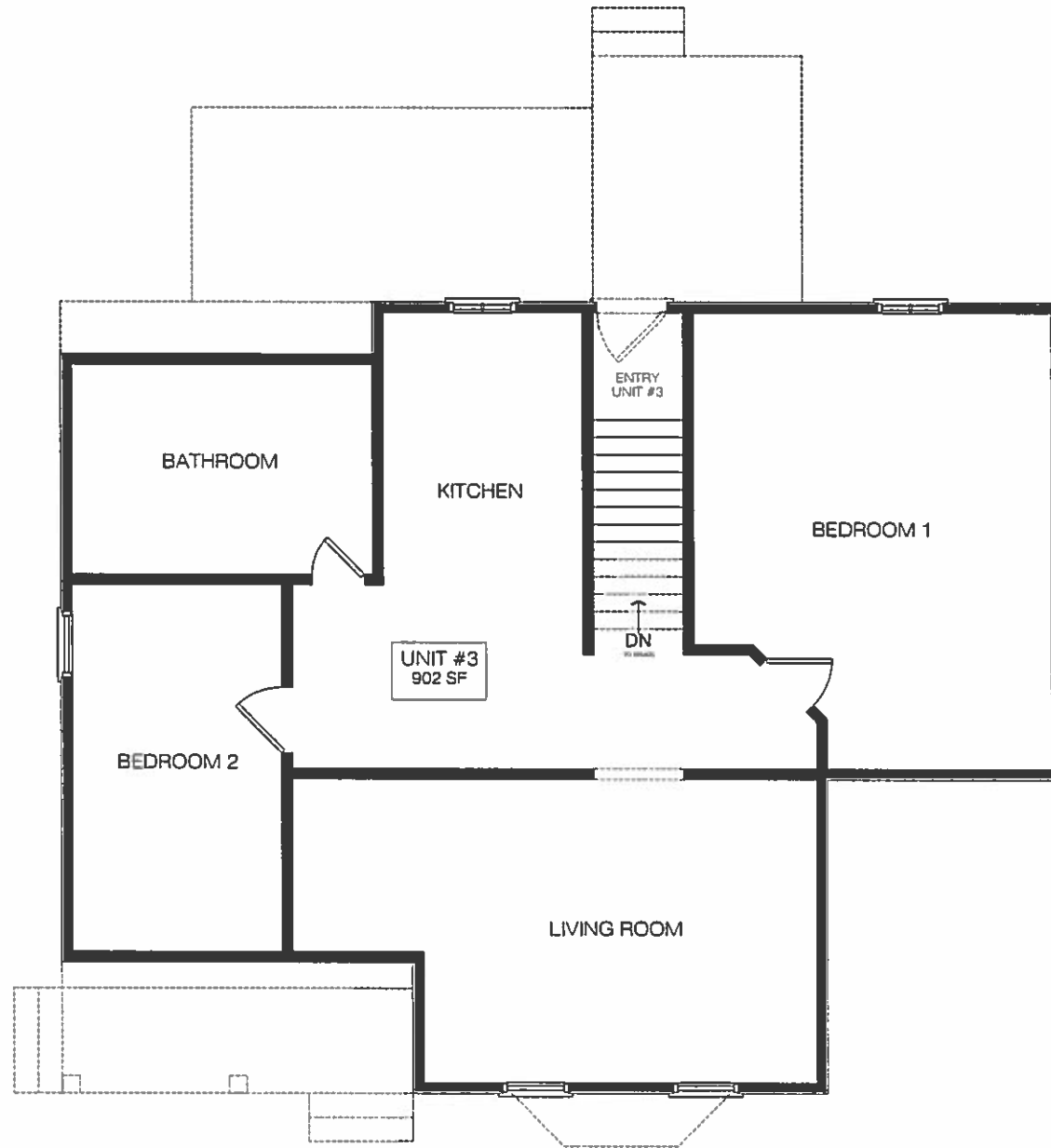
Revised	Date	By

The engineer has checked and shall remain liable for any errors or omissions in this drawing and shall be responsible for any changes or modifications required after the date of issue of this drawing.
 D. J. Digney & Associates Inc.
 Professional Engineer
 License No. 12345
 Registered Professional Engineer
 Ontario
 2023

Issued For	Plan Drawings Town of St. Thomas
P.L.D. #	2204
Client	Roman Singh Vee 21 Jessie St. St. Thomas, Ontario N5P 1P7
Final Square Footage	1,007 SF
Drawing Type	Detached ADU (Acc. Struc.)
Designed By	Shawn P. Lead BCN Designer
Scale	N/TB
Date	01/31/22
Province	Ontario

07


173



21 JESSE ST. UNIT #3 • 2 & 3 ST THOMAS
A-4 **EXIST. 2nd Level Floor Plan**
 TOTAL NET FLOOR SPACE 902 SF (902/10/10/10/10/10)

ENGINEER STAMP

Design Firm:



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 12122 Evergreen Dr.
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Website:
 www.ddgriffin.com

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Revision	Date	By
1	01-21-22	SP

The enclosed has been prepared and is the responsibility of the design engineer. It is the responsibility of the client to ensure that the design complies with all applicable codes and regulations. The design engineer is not responsible for any errors or omissions in the design. The design engineer is not responsible for any errors or omissions in the design.

Signature: *[Signature]* 27775
 Date: 01/21/22

Issued For:
 Permit Drawings
 Issue of 2nd Floor Plan

P.O. # 2204

Project Name:
 Roman Singh Inv.
 21 Jesse St.
 St Thomas, Ontario
 N8B 1P7

Final Square Footage:
 1,007 SF


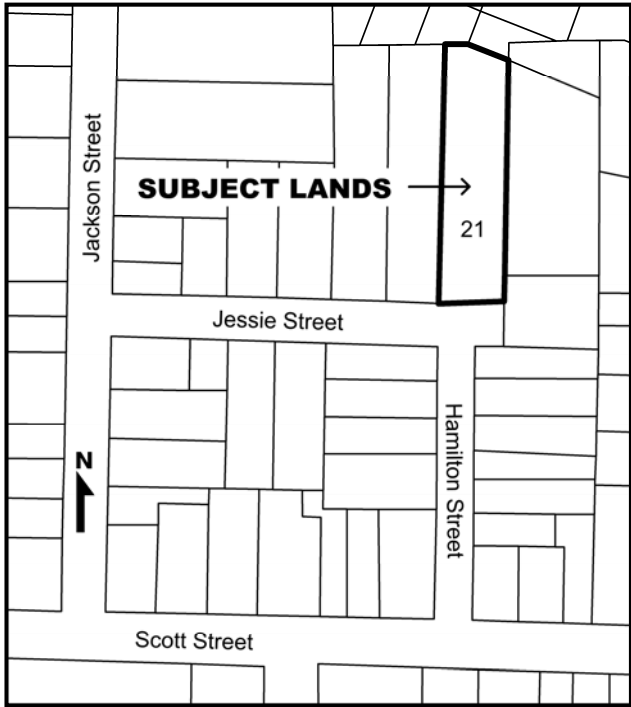
Drawing Type:
 Detached ADU (Acc. Struc.)

Designed By:
 Shaun P.
 Lead BCN Designer

Scale: NTS
 Date: 01/21/22
 Province: Ontario

Drawing ID: **08**

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 <p>The Corporation of the City of St. Thomas</p>	<p>Report No.: COA07-2022</p>
<p>Members of the Committee of Adjustment</p>	<p>Applicant: Draw Build Inc.</p>
<p>Location: 21 Jessie Street, Plan 170, Lot 11, and RP 11R1864, Part of Part 12</p>	
<p>Subject: Request for a minor variance pursuant to 45(1) of the Planning Act, R.S.O, as amended</p>	
<p>Department: Planning and Building Services Department Prepared by: Steve Craig, Senior Planning Technician</p>	<p>Attachments: Location Plan</p>
<p>Recommendation:</p> <p>That: Report COA07-2022 be received.</p>	
<p>BACKGROUND:</p> <p>The applicant is requesting the Committee of Adjustment permit the continued use of an existing detached accessory building (garage) that was constructed on the subject lands in 1987 as a dwelling unit, as shown on the plans accompanying the subject application.</p> <p>REQUESTED VARIANCE:</p> <p>(i) To permit one dwelling unit in a detached accessory building, whereas the Zoning By-law provides the no accessory building shall be used for human habitation (Subsection 4.2.4.7).</p> <p>OFFICIAL PLAN:</p> <ul style="list-style-type: none"> The subject lands are within the Residential designation, Natural Heritage designation and Natural Hazard designation as shown on Schedule A (Land Use Plan) to the Official Plan for the City of St. Thomas. The existing converted dwelling and detached accessory building are entirely within the Residential designation, the predominant use of land shall be for low, medium, and high-density residential use (5.1.3.1). 	<p>Location Plan</p>  <p>The map shows a street grid with Jackson Street on the left, Hamilton Street on the right, and Jessie Street and Scott Street running horizontally. A specific lot on Jessie Street is highlighted with a thick black border and labeled 'SUBJECT LANDS' with an arrow pointing to the number '21'. A north arrow is located on the left side of the map.</p>

ZONING BY-LAW:

- The subject lands are within the Fourth Residential Zone (R4) and Natural Heritage Zone (HL) pursuant to the City of St. Thomas Zoning By-Law No. 50-88, as shown on Zoning Map 10.
- The existing converted dwelling and detached accessory building are entirely within the R4 zone, permitted uses include a single detached dwelling, converted dwelling, and uses accessory to the foregoing (7.1(a)(h)(q)).
- In an R4, R5, R6 or R7 zone, more than one main building may be erected on a lot (4.2.7.2).
- Accessory when used to describe a building or structure means customarily incidental, subordinate and exclusively devoted to the main use on the lot and when used to describe a use, shall mean customarily incidental, subordinate and exclusively devoted to the main use of the lot (1.1).
- Dwelling unit means one or more habitable rooms occupied or designed to be occupied by one or more persons as an independent and separate housekeeping establishment in which separate kitchen and sanitary facilities are provided for the use of such person or persons (1.35).
- Garage means a building or part of a building designed or used for the storage of one or more motor vehicles and includes a carport (1.49).
- Main building means a building on a lot in which a main use is conducted (1.72).

LEGISLATIVE FRAMEWORK FOR A MINOR VARIANCE:

In considering this application, the Committee must have regard to the following criteria and determine whether:

- The general intent and purpose of the Official Plan will be maintained;
- The general intent and purpose of the Zoning By-Law will be maintained;
- The variance is desirable for the appropriate development or use of the land, building or structure; and
- The variance is minor in nature.

COMMENTS:

- In 1987 the City of St. Thomas issued a building permit to construct a detached garage on the subject lands, however at some point in time the garage was converted into a dwelling unit and used for human habitation.
- The proposed variance is technical in nature and is for the purpose of resolving a historical zoning violation that the new owner is proposing to clear up.
- In Staff's opinion the proposed variance meets the general intent and purpose of the Official Plan, Zoning By-law, is minor in nature, and is desirable and appropriate for the use of the lands, thereby satisfying the four tests, as set out in Section 45 of the Planning Act. Therefore, planning staff recommend that minor variance application COA07-2022 be approved, subject to the following condition:
 1. The owner shall obtain a building permit for the dwelling unit to the satisfaction of the Building Services Department.

Respectfully submitted,



Steve Craig

Senior Planning Technician